

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MAY 11, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with Adam Buczek of the Skorburg Co. to consider a request to submit a new zoning application for a zoning change in accordance with Section 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the April 27, 2021 Planning and Zoning Commission meetings.

(3) **SP2021-010 (DAVID GONZALES)**

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

(4) **SP2021-013 (HENRY LEE)**

Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

(5) **P2021-019 (DAVID GONZALES)**

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of John Arnold of Gideon Grove Addition, LTD for the approval of a Final Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

(6) **P2021-020 (DAVID GONZALES)**

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask

if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(7) **Z2021-008 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, an *Accessory Building*, and a *Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home, accessory building, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

(8) **Z2021-009 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

(9) **Z2021-010 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 20-34* and allowing an accessory building that does not conform to *S-231 [Ordinance No. 20-34]* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

(10) **Z2021-011 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an *Accessory Building* for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Road, and take any action necessary.

(11) **Z2021-012 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

(12) **Z2021-013 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of clarifying the requirements for temporary structures on leased property within the takeline area.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(13) **SP2021-012 (HENRY LEE)**

Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

(VII) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(14) **Director's Report** of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-017: Replat for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition (APPROVED)
- P2021-018: Final Plat for Lots 1-3, Block A, DDF9 Addition (APPROVED)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on May 7, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Adam Buczek; *Skorburg Co.*
DATE: May 11, 2021
SUBJECT: Reapplication Request for Zoning Change

On March 19, 2021, Kevin Harrell of the Skorburg Co. submitted an application requesting to rezone a 196.009-acre tract of land (*i.e. Tract 6 of the J. A. Ramsey Survey, Abstract No. 186*) from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses [*Case No. Z2021-007*]. Specifically, the applicant was proposing to entitle the subject property for a 526-lot single-family, residential subdivision that would incorporate [1] 396, 62' x 120' lots, [2] 109, 72' x 120' lots, [3] 11, 82' x 120' lots, and [4] 10, 100' x 120' lots. On April 13, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the zoning change by a vote of 5-2, with Commissioners Chodun and Welch dissenting; however, since 23.11% of the area within 200-feet of the subject property was owned by property owners who indicated in writing that they were opposed to the case, the case required a super majority vote (*i.e. three-fourths vote*) of the City Council with a minimum of four (4) votes in the affirmative required for approval [*Subsection 02.03(G); Article 11; UDC*]. On April 19, 2021, a motion to approve the zoning change failed by a vote of 3-4, with Mayor Pruitt and Council Members Macalik, Campbell, and Daniels dissenting. Since the motion to approve failed and no subsequent motion was made, the failure is considered to be a denial with prejudice [*Subsection 02.05(B)(2); Article 11; UDC*].

Based on these events, "...a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for more restrictive or less intense land use than the previously denied request ..."; however, Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) allows an applicant to submit a written request to the Director of Planning and Zoning requesting to resubmit an application based on "... [1] An actual change in conditions relating to the lot or tract of land -- or any portion thereof -- or any surrounding properties; or, [2] The new request is for a more restrictive or less intense land use than the previously denied request." Under this circumstance the Director of Planning and Zoning is to review the request and report to the Planning and Zoning Commission on whether or not such request meets the aforementioned criteria, and the Planning and Zoning Commission is to either grant or deny the request for reapplication.

On May 4, 2021, the applicant sent a request to the Director of Planning and Zoning requesting to resubmit an application based on the new concept plan -- *attached to this memorandum* -- and following proposed changes:

- (1) Density. The original request of 526 lots equated to a density of 2.68 dwelling units per acres (*i.e. 526 lots/196.009-acres = 2.68355 dwelling units per acre*). Based on this density the applicant was also requesting that the Future Land Use Plan -- which designated the subject property as Low Density Residential or 2.50 dwelling units per acre -- be changed to a Medium Density Residential designation. Based on this requested change the applicant's request was deemed to not be in conformance with OURHometown Vision 2040 Comprehensive Plan. The applicant's revised request indicates a total of 490 lots, which equates to a density of 2.50 dwelling units per acre (*i.e. 490 lots/196.009-acres = 2.4998 dwelling units per acre*). This requested density does conform to the Low Density Residential land use designation, and therefore would be considered to be conforming to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- (2) Lot Mix. The original request evolved from the Planning and Zoning Work Session meeting to the City Council meeting to include [1] 396, 62' x 120' lots, [2] 109, 72' x 120' lots, [3] 11, 82' x 120' lots, and [4] 10, 100' x 120' lots. The applicant's new request changes the lot mix to include [1] 226, 62' x 120' lots, [2] 249, 72' x 120' lots, and [3] 15, 100' x 120' lots. The following is a side-by-side comparison of the originally request lot mix versus the proposed lot mix:

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Originally Requested Lot Mix		Proposed Lot Mix	
			Dwelling Units (#)	Dwelling Units (%)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	396	75.29%	226	46.12%
B	72' x 120'	8,640 SF	109	20.72%	249	50.82%
C	82' x 120'	9,840 SF	11	02.09%	0	00.00%
D	100' x 120'	12,000 SF	10	01.90%	15	03.06%
Maximum Permitted Units:			526	100.00%	490	100.00%

- (3) Open Space. The original request included 10.01-acres of open space, a 1.517-acre amenity center, and a 51.8-acre public park, which all equated to 63.327-acres (or 32.31%) open space. The proposed plan slightly increases the open space and includes 13.6-acres of open space, a 1.606-acre amenity center, and a 50.8-acre public park, which all equates to 66.006-acres (or 33.67%) open space.
- (4) Fencing. In the original request the applicant was requesting a to change the required fence type for the properties along the northern boundary of the development from wrought iron to wood fencing. In order to better conform to the requirements of the Unified Development Code (UDC), the applicant has forgone this request with the newest plan and is proposing to provide the required wrought iron fencing.
- (5) Trails and Amenities. The original request included trails dispersed throughout the development, and the new plan remains largely unchanged with regard to this aspect; however, the applicant has incorporated a small central green space that will now incorporate a trail head. A representative image of the proposed trail head has been indicated on the attached concept plan.
- (6) Monumentation Signage. The original request indicated the location of the monumentation signage, but did not provide representative images of the proposed signage. The applicant has incorporated representative images of the monument signage on the attached concept plan.

Based on [1] previous approvals by the Planning and Zoning Commission with regard to requests for reapplication, [2] the applicant's proposed changes outlined above, and [3] how the proposed changes impact the request's conformance with the OURHometown Vision 2040 Comprehensive Plan, staff has determined that the applicant's request is a substantial enough change to warrant bringing the request forward to the Planning and Zoning Commission. In rendering this verdict, staff reviewed the videos from both the Planning and Zoning Commission meetings on March 30, 2021 and April 13, 2021, and the City Council meeting on April 19, 2021. In reviewing these meetings, staff should note that the main concern with the previously submitted plan was the proposed density of the project, and that it did not conform to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This appears to be the main basis for the denial of Case No. Z2021-007.

Based on this report by the Director of Planning and Zoning, the Planning and Zoning Commission is being tasked with determining if the applicant should be permitted to refile an application for zoning change. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the meeting on May 11, 2021.

Miller, Ryan

From: Adam Buczek <abuczek@skorburgcompany.com>
Sent: Tuesday, May 4, 2021 11:46 AM
To: Miller, Ryan
Cc: Kevin Harrell
Subject: The Homestead (Klutts Farm) Substantial Change consideration request
Attachments: Klutts Tract Concept plan_Zoning Exhibit_490 lots_4-28-21.pdf; Klutts Farm Concept plan - for CC 4-19-21.pdf

Ryan,

We respectfully request City Staff and the P&Z Commission to review the attached revised concept plan for the Homestead (Klutts Farm) for consideration on the May 11, 2021 Planning & Zoning Commission meeting as to whether this revised plan satisfies the requirements of a Substantial Change such that we can resubmit a revised zoning application by May 14, 2021 in conformance with this revised concept plan.

For purposes of this request, please see attached to this e-mail the following items:

- A) Our revised Homestead concept plan
- B) For comparative purposes, our OLD concept plan that was denied by City Council on April 19, 2021

Below is a description / summary of the primary changes below that have been incorporated into the revised concept plan and would be incorporated into the PD as well if this revised plan is deemed to satisfy the Substantial Change criteria:

1) Density:

- We reduced density by 36 lots (reduced the total # of lots from 526 lots to 490 lots) to now conform with the City's Comprehensive Plan (2.5 units per acre density)

2) Lot Mix:

- We put all 100' wide lots along FM 549 and increased the # of 100' wide lots from 10 lots to 15 lots. We previously had 7 lots that were in the 82' wide lot type.
- We eliminated the 82' wide lot type (11 lots of this lot type)
- We reduced the # of 62' wide lots from 396 lots to 226 lots.
- We increase the # of 72' wide lots from 109 lots to 249 lots.

3) Lot Type Intermixing:

- In conformance with the Comp Plan, we increased the intermixing of the 62' and 72' wide lot types. This is very noticeable when looking at the old concept plan and the new/revised concept plan side by side.

4) Open Space / Regional City Park:

- In response to a request from the neighboring landowner across from our northwest corner on the west side of FM 549 (the Hensons), we removed all lots that were north of our northernmost entrance and made it all open space north of our north entrance, and added a divided entry at the north entrance.
- We created a centralized open space with a Trail Head feature and included a representative photo rendering on the Concept plan
- We increased the width of the open space buffer on the north edge from 10' wide to 30' wide, and will be planting evergreen trees every 10' (as opposed to every 15' on center) along the north edge. This increased buffer with additional evergreen screening will enable us to have tubular steel fencing on the rear lot lines for our lots on the north, so we will no longer be requesting any sort of fencing variance with this revised PD. As a result of this increased buffer, we had to shift all lots 20' south, which resulted

in the Regional Park being reduced from 51.8 acres to 50.8 acres; however, we still provide the minimum 50 acres for a regional city park.

- With 66 acres of open space in the revised plan, we have over 33% open space – well in excess of the minimum 20% open space required to conform to the City’s Comprehensive Plan.

5) Entry Monumentation:

- We added entry monuments at both entrances as well as representative photos on the Concept Plan.

6) Amenities:

- We removed the Dog Park so this element will not require any special consideration from City Council. We did keep the open space (and in fact, actually increased it).
- We no longer plan to incorporate any materials from the barn structure into the amenity center structure. Of course, we will still construct a quality amenity center with all the same amenities as previously committed.

Based on my understanding of the City’s Comprehensive Plan, it is our understanding that this revised Concept Plan conforms without exception to the City’s Comprehensive Plan. Furthermore, our revised PD will not be asking for any variances (i.e. we will keep the maximum 20% of lots being allowed a flat front entry garage orientation).

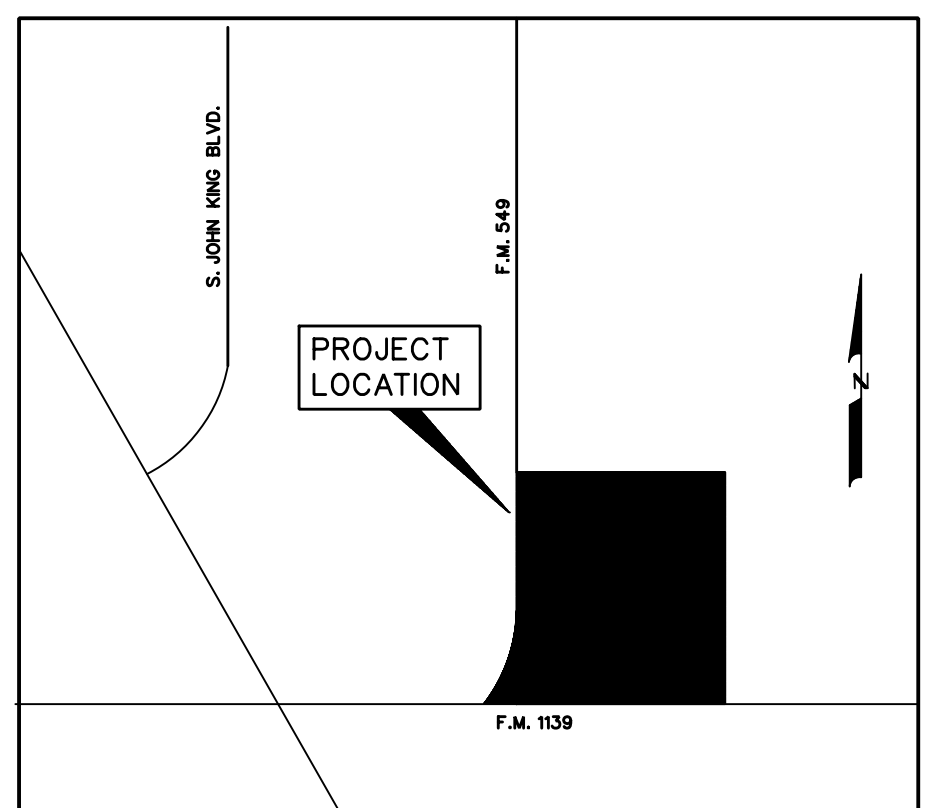
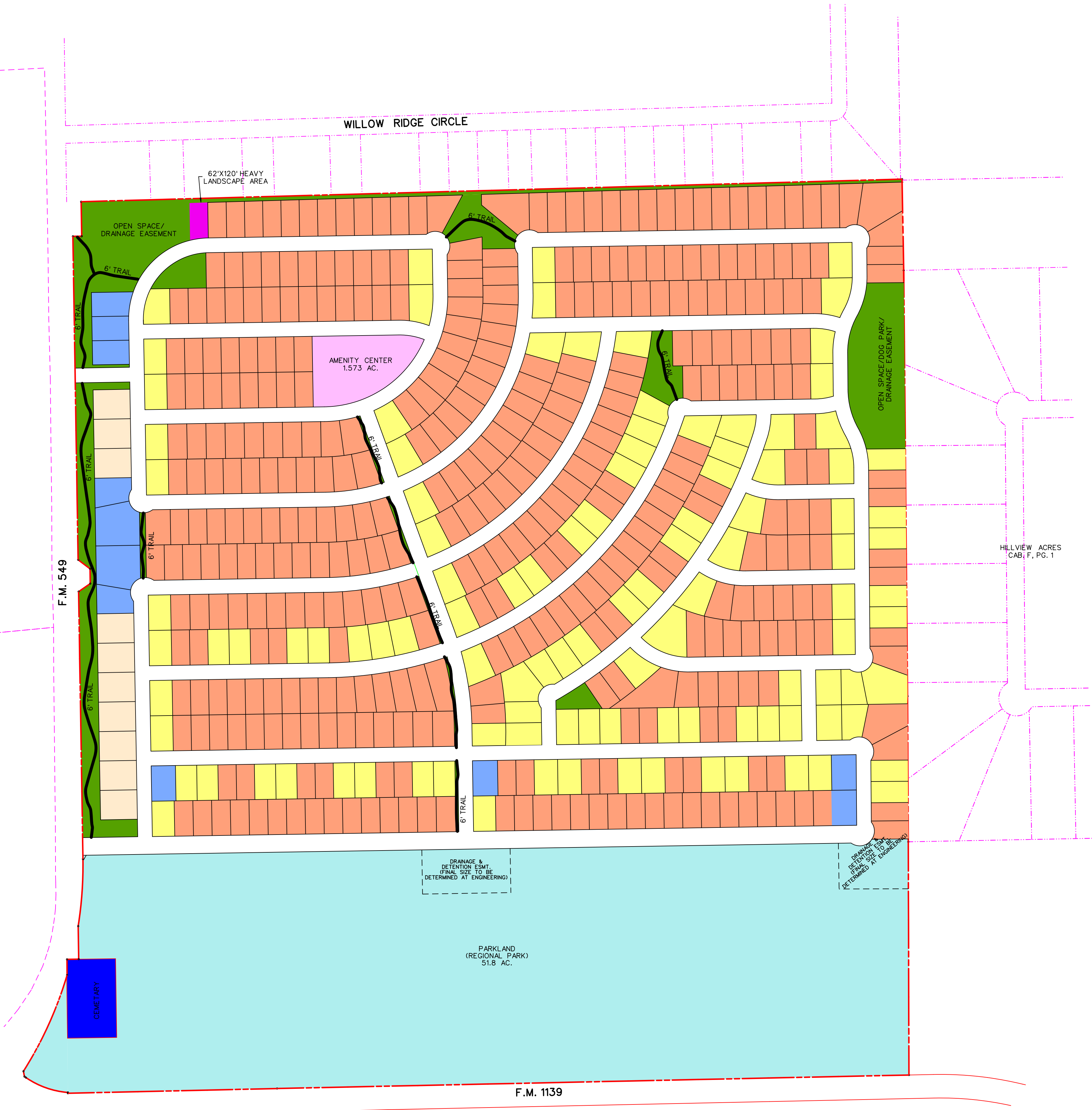
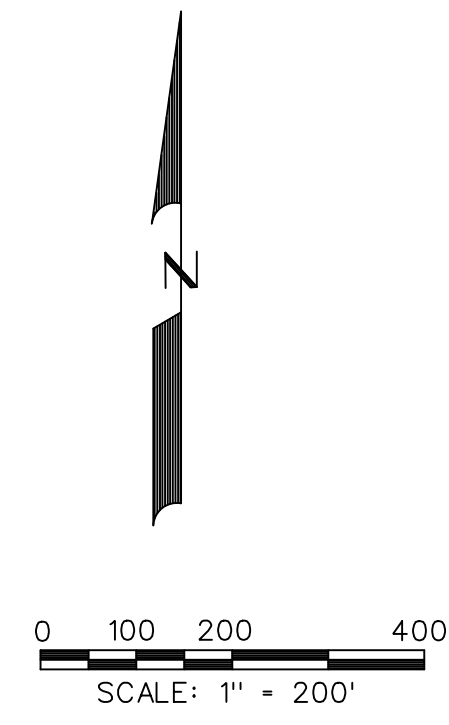
Please take a look and let me know if staff needs anything else from us to process our request to be on the P&Z Commission agenda on May 11, 2021, for determination if this revised plan will meet the Substantial Change definition. Thank you.

Best Regards,

Adam J. Buczek
Development Partner
Skorburg Company
8214 Westchester Drive, Suite 900
Dallas, Texas 75225
Ph: (214) 888-8843
Cell: (817) 657-5548
Fax: (214) 888-8861

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LOCATION MAP
N.T.S.

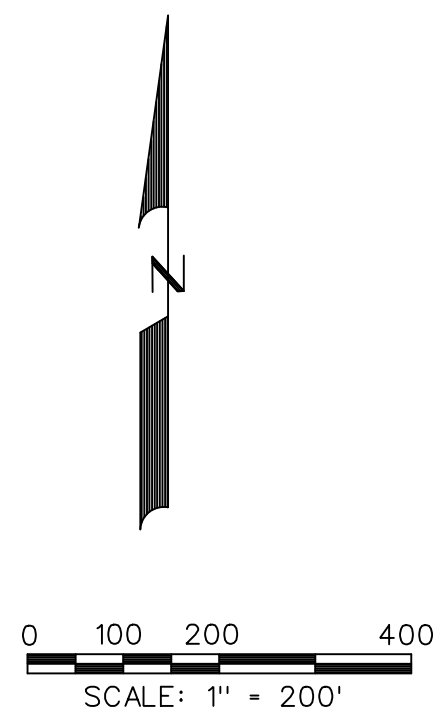
LEGEND	
TYPICAL LOT SIZES	
	- TYPE A LOTS 62' X 120' - 396 LOTS
	- TYPE B LOTS 72' X 120' - 109 LOTS
	- TYPE C LOTS 82' X 120' - 11 LOTS
	- TYPE D LOTS 100' X 120' - 10 LOTS
	- OPEN SPACE - 10.01 Ac.
	- AMENITY CENTER - 1.517 Ac.
	- PARKLAND (REGIONAL PARK) - 51.8 Ac.

CONCEPT PLAN
OF
HOMESTEAD
SITUATED IN THE
J.A. RAMSEY SURVEY, ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OWNER
KLUTTS FARM, LLC.
1604 NORTH HILLS DR.
ROCKWALL, TX 75087

TOTAL ACRES	196.009
TOTAL RESIDENTIAL LOTS	526
RESIDENTIAL DENSITY	2.68

APRIL 2021 SCALE 1" = 200'

CASE NO. XXXX



LEGEND

TYPICAL LOT SIZES

	- TYPE A LOTS 62' X 120' - 226 LOTS
	- TYPE B LOTS 72' X 120' - 249 LOTS
	- TYPE C LOTS 100' X 120' - 15 LOTS
	- OPEN SPACE - 13.6 Ac.
	- AMENITY CENTER - 1,606 Ac.
	- PARKLAND (REGIONAL PARK) - 50.8 Ac.



REPRESENTATIVE TRAIL HEAD

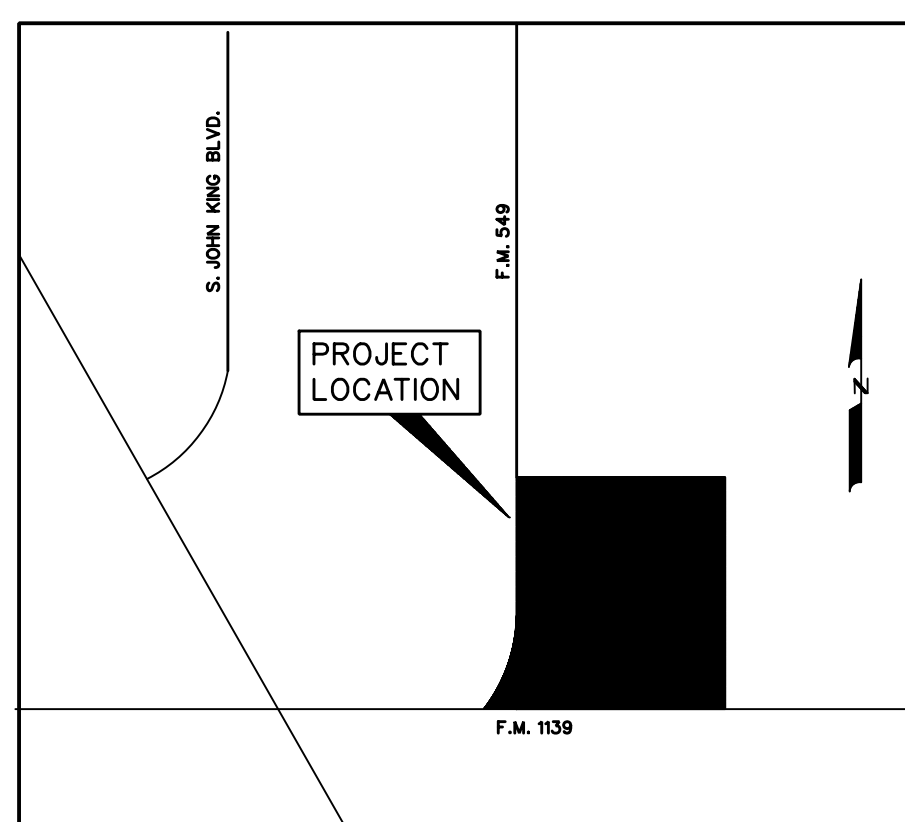


REPRESENTATIVE PRIMARY ENTRY MONUMENT



REPRESENTATIVE SECONDARY ENTRY MONUMENT

HILLVIEW ACRES
CAB. F, PG. 1



LOCATION MAP
N.T.S.

TOTAL ACRES	196.009
TOTAL RESIDENTIAL LOTS	490
RESIDENTIAL DENSITY	2.499

CONCEPT PLAN
OF
HOMESTEAD
SITUATED IN THE
J.A. RAMSEY SURVEY, ABSTRACT NO. 186
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

OWNER
KLUTTS FARM, LLC.
1604 NORTH HILLS DR.
ROCKWALL, TX 75087

APRIL 2021 SCALE 1" = 200'

CASE NO. XXXX

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 27, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
5 Jean Conway, and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Mark Moeller. Staff members present were
6 Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica
7 Gamez, Planner Henry Lee, City Engineer Amy Williams, and Civil Engineers Sarah Johnston and Jeremy White.

8
9 II. OPEN FORUM
10

11 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing.*
12 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised*
13 *during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting*
14 *per the Texas Open Meetings Act.*

15
16 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
17 no one coming forward, Chairman Chodun closed the open forum.
18

19 III. APPOINTMENTS
20

- 21 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for
22 items on the agenda requiring architectural review.
23

24 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
25 Architectural Review Board meeting.
26

27 IV. CONSENT AGENDA
28

29 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development*
30 *Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
31

- 32 2. Approval of Minutes for the April 13, 2021 Planning and Zoning Commission meeting.
33

34 3. **P2021-017 (DAVID GONZALES)**

35 Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval
36 of a *Replat* for Lot 25, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre parcel of land identified as Lot 24, Block A,
37 Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General
38 Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.
39

40 4. **P2021-018 (DAVID GONZALES)**

41 Consider a request by Jonathan Stites of Seefried Industrial Properties on behalf of Amazon.com Services, LLC for the approval of a *Final Plat* for
42 Lot 1-3, Block A, DDF9 Addition being a 90.68-acre tract of land identified as Tract 20 & 20-1 of the A. Hanna Survey, Abstract No. 99, City of
43 Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of Justin Road and Industrial
44 Boulevard, and take any action necessary.
45

46 Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Thomas seconded he motion which passed by a
47 vote of 6-0 with Commissioner Moeller absent.
48

49 V. DISCUSSION ITEMS
50

51 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that*
52 *will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take*
53 *place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission*
54 *public hearing and/or action date for the following cases is May 11, 2021.*
55

56 5. **Z2021-008 (HENRY LEE)**

57 Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a *Specific Use*
58 *Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* for the purpose of
59 constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land
60 identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development
61 District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.
62

63 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the residential infill for a single-
64 family home which does meet all of the density and dimensional requirements. They are also requesting an attached garage which will

65 exceed the height requirement along with an accessory structure that will exceed the height and size requirement as well. There is an
66 additional request for a guest quarters that will be located in front of the primary structure and be greater than 30% of the primary
67 structure. It should be noted that there are only two (2) other homes on this street that are custom build like the proposed home so it will
68 not be uncharacteristic of what's existing already. Although, the guest quarters is greater than 30% than the primary structure – it could
69 be sold separately due to its size and meets all of the density and dimensional requirements for that zoning district. This would allow
70 the owner flexibility in the future.

71
72 Chairman Chodun asked if they would need to replat. Mr. Lee advised that they would need to replat before they move forward with the
73 permits but in the future they could replat it back and sell it separately.

74
75 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.
76

77 6. Z2021-009 (HENRY LEE)

78 Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific
79 Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre parcel of
80 land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as
81 704 Parks Avenue, and take any action necessary.

82
83 Chairman Chodun asked the applicant to come forward

84
85 Michael Morgan
86 14 Kestrel Court
87 Heath, TX 75032
88

89 Mr. Morgan came forward and provided a brief summary in regards to the request. He's requesting to build a single-family home.

90
91 Commissioner Womble asked if the lower roof pitch was to maintain the view off the balcony.

92
93 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.
94

95 7. Z2021-010 (DAVID GONZALES)

96 Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) superseding Ordinance
97 No. 20-34 and allowing an accessory building that does not conform to S-231 [Ordinance No. 20-34] on a 0.2297-acre parcel of land identified as
98 Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-
99 Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

100
101 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He wanted to remind the Planning and
102 Zoning Commission of what was approved for the applicant and where it stands today. This was brought before the Commission last
103 year and the applicant had applied for a permit but started the work on the property prior to being issued that permit. The applicant then
104 submitted a Specific Use Permit (SUP) and was approved for the drawings shown. The three requirements as part of that SUP were that
105 the building be as depicted in the SUP ordinance, that it not exceed 360 square-feet, and that the subject property not have more than
106 one (1) accessory structure on it.

107
108 Planning and Zoning Manager David Gonzales gave additional details and provided photos in regards to the case. The reason this
109 request is being brought upon the Commission this evening is because the Building Inspections department went out to inspect
110 progress on the permit and noticed that the building was not built with what was approved from the permit. Mr. Gonzales pointed out
111 that when a building permit is pulled and issued, the permit is there and the applicant has it onsite. There are multiple issues with the
112 building that is being constructed currently. Some of those issues being: the separation from the fence, the roof line being connected
113 to the fence, and the roof drains onto the adjacent property. Others include the roof line differing from what was approved, the height
114 of the building does not comply, the retaining wall needs to be finished in stone, and it has a second floor addition that is decked. Mr.
115 Gonzales pointed out that it looks like a livable space and Staff would need to know if it would be a living space. Included in the packet
116 is language for the operational conditions indicating that the accessory building shall not be used as a secondary living unit or guest
117 quarters.

118
119 Mr. Miller added that the Commission is actually deciding whether or not to amend the SUP that was approved to allow what the applicant
120 actually built. In this case, what doesn't conform is the height and the structure clearly has a second story with the addition of the
121 electrical plugs and lighting. This appears to be intended to be used for more than storage as originally indicated.

122
123 Chairman Chodun asked if construction had already commenced when it was originally reviewed and they were retroactively approving
124 it at that time. Mr. Miller stated that was correct because the applicant had poured concrete for the slab and constructed the retaining
125 wall. It required a structural engineer to certify the retaining wall after it was constructed. Staff should note that none of the concrete
126 that was originally approved or what was done after the approval was pour tested.

127
128 Chairman Chodun asked for the votes from Planning and Zoning Commission and City Council when the case was first brought before
129 them.

130
131 Mr. Miller added that there are certain things that need to be done. For example, the roof line cannot be attached to the fence and it has
132 to be changed along with the roof pitch.

133 Commissioner Deckard asked if the roof attached to the property actually sheds water onto the neighboring property.

134
135
136 Commissioner Conway wanted clarification in regards to the overall square footage. She thought that with a single structure the
137 maximum square footage was 144-square feet or 625 square-feet for a garage. Mr. Gonzales explained that the square footage was
138 allowed by the approval of the first SUP for 360 square-feet. However, with the addition of the second floor, the new space must be
139 calculated as additional square footage making the total 570 square-feet.

140
141 Chairman Chodun asked the applicant to come forward.

142
143 Mark Klecha
144 1748 Lake Breeze Drive
145 Rockwall, TX 75087
146

147 Mr. Klecha came forward and provided a brief history as well as additional details in regards to the request. He explained that he needed
148 to move the structure over and, in doing so, he decided to change the design of the building. Mr. Klecha then updated the drawings and
149 plot but did not send the updated drawings or plot to City Staff. There were windows added to match the architecture of his home.

150
151 Commissioner Deckard asked what all was included with the project and what was the use for. He added that there were makings of
152 having a small apartment or a mother-in-law suite in the layout. His main problem is that the applicant or builder is supposed to be
153 working off a set of city-approved drawings but it took over a year to see the difference in those and what was being built.

154
155 Vice-Chairman Welch asked if the neighbors had mentioned anything regarding the project. He added that if this gets approved then it
156 becomes a precedent for the neighborhood.

157
158 Mr. Miller added that there had been a stipulation on the previously approved SUP that only one accessory structure was to be on the
159 property. Since then, the applicant had built a temporary structure on the west side of the property to hold the items meant for the
160 structure being built. Mr. Miller wanted to confirm that that temporary structure had been removed which it had.

161
162 Chairman Chodun asked what was the process was should the SUP be denied. Mr., Miller explained that the Commission is reviewing
163 is a request to supersede the existing SUP and grant a new SUP to allow what the applicant has done and what's allowed by the
164 International Building Code. Should the request be denied, the applicant would have to meet the current SUP which means it would
165 have to conform to what was approved. The only other thing that the Planning and Zoning Commission could recommend would be
166 revocation which the project would have to start from the beginning. The Commission can decide to do the following: Revocation which
167 would mean to remove the building, denial would mean to structurally change the building and meet the building permit that was issued,
168 or approval to allow what he has today. The applicant would have to bring it into compliance within the time frame.

169
170 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

171 8. **Z2021-011 (HENRY LEE)**

172 Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building*
173 for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City
174 of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action
175 necessary.
176

177 Planner Henry Lee provided a brief summary in regards to the request. He explained that the reason this is coming before the
178 Commission is because they need an SUP for the size as they exceed the maximum size by 144 square feet.

179
180 Chairman Chodun asked the applicant to come forward

181
182 Kristi Bryant
183 710 S. Alamo Street
184 Rockwall, TX 75087
185

186 Mrs. Bryant came forward and provided additional details in regards to the request. She added that the greenhouse was already built
187 so it was brought in and dropped. She asked the manufacturer what she needed to do to prepare the ground and they suggested gravel
188 would work best. The building is 12' x 24' and it is 10-feet in height.

189
190 Mr. Lee wanted to add that the applicant would need a concrete foundation for the structure because of the size of it.

191
192 Commissioner Womble asked if the other structure was a detached garage or if the greenhouse would be the only accessory structure.
193 Vice-Chairman Welch asked if you could see this from the street.

194 Commissioner Deckard added that he was confused as to why a concrete foundation was needed.

195
196 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

197
198 9. **Z2021-012 (DAVID GONZALES)**

199 Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a
200 *Specific Use Permit (SUP)* for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1,

Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Ahmad Maktabi
819 Chumley Road
Garland, TX 75044

The applicant came forward and provided a brief summary in regards to the request. He's requesting to open a cigar shop in the area but there will not be any smoking inside the store.

Commissioner Conway asked if there was a patio there or if it was purchase only.
Chairman Chodun asked if there were any parking issues.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

10. **Z2021-013 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of clarifying the requirements for temporary structures on leased property within the takeline area.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He explained that the Takeline Ordinance was changed last year and, recently, the Municipal Code of Ordinances was changed as well to regulate some areas on unleased property. The City has recently offered to people that are eligible for takeline leases a lease where the initial fee is waived and reduced the annual fee. The City Council wanted Staff to make a clarification that talks about temporary structures on leased property because temporary structures on unleased property are not permitted.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

11. **P2021-019 (DAVID GONZALES)**

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of John Arnold of Gideon Grove Addition, LTD for the approval of a *Final Plat* for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

Planning and Zoning Manager David Gonzales advised that this case is going before the Parks and Recreation Board on May 4, 2021. This item will be on the Consent Agenda for the May 11, 2021 meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

12. **P2021-020 (DAVID GONZALES)**

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a *Preliminary Plat* for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

Planning and Zoning Manager David Gonzales asked the Commission if they could go over this item and the next at the same time since they were related.

13. **SP2021-010 (DAVID GONZALES)**

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a *Site Plan* for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Randall Eardley
2201 E. Lamar Blvd
Arlington, TX 76006

Mr. Eardley came forward and provided a brief summary in regards to the request. They are proposing a sports and recreation facility for a Phase I project on the 56-acre tract of land.

Commissioner Thomas asked if this case was reviewed last year.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

14. SP2021-012 (HENRY LEE)

Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

Planner Henry Lee provided a brief history in regards to the request. He explained that this item came before the Commission in 2019 where a site plan was approved but they had a variance for the articulation that was denied. They came back without making changes to the site plan but they are changing their landscape plan, elevations, and photometric plan. They are also requesting variances for their vertical articulation, horizontal articulation and the roof pitch.

Chairman Chodun asked the applicant to come forward.

Mike Prince
2221 Country Brook Lane
Prosper, TX 75078

Mr. Prince came forward and provided additional details in regards to the case.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

15. SP2021-013 (HENRY LEE)

Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. Currently their structure is considered to be legally non-conforming and they're trying to bring it closer into conformance.

Chairman Chodun asked Mr. Lee in regards to bringing it more into conformance.

Mr. Miller explained that their plans don't conform to what we require. The applicant will not have any variances because the applicant is going to fix the issues pointed out by Staff.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 11, 2021.

16. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-009: Replat for Lot 1, Block A, Kennedy Addition [APPROVED]
- P2021-010: Replat for Lots 1 & 2, Block A, Wreyford Addition [APPROVED]
- P2021-011: Final Plat for Lots 1 & 2, Block A, Birds Nest Addition [APPROVED]
- P2021-012: Preliminary Plat for Phase 2 of the Saddle Star Estates South Addition [APPROVED]
- P2021-013: Preliminary Plat for Lots 1-19, Block A, Landon Addition [APPROVED]
- P2021-014: Preliminary Plat for Nelson Lake Addition [APPROVED]
- SP2021-005: Variance to the Parking Requirements for HG Supply Co. [APPROVED]
- SP2021-007: Major Waiver to the Parking Requirements for Bonafide Betties Pie [APPROVED]
- Z2021-006: Zoning Amendment to Planned Development District 79 [PD-79] [DENIED]
- Z2021-007: Zoning Change (AG to PD) for the Klutts Farm [DENIED]

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VI. ADJOURNMENT

Chairman Chodun adjourned the meeting at 7:04 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2021.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Randy Eardley; *Weir & Associates, Inc.*
CASE NUMBER: SP2021-010; *Site Plan for a Sports and Recreation Facility*

SUMMARY

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a sports and recreation facility on a 6.38-acre portion of a larger 31.65-acre tract of land identified as Tract 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at a time between annexation and April 5, 2005. The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

On April 16, 2021, the applicant -- *Randall Eardley* -- submitted an application requesting approval of a site plan for the purpose of developing a ~87,155 SF sports and recreation facility on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southwest corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is the remainder of the 31.65-acre tract of land, which the subject property is being subdivided out of. Beyond this is the IH-30 Frontage Road followed by IH-30. Continuing north are two (2) vacant tracts of land (*i.e. Tract 10-3 [8.23-acres] and Tract 10 [14.8-acres] of the R. Irvine Survey, Abstract No. 120*) that are zoned Commercial (C) District. Beyond this is the corporate limits for the City of Rockwall.

South: Directly south of the subject property is a vacant tract of land identified as Lot 1, Block B, Rockwall Technology Park, Phase IV Addition. This land is zoned Light Industrial (LI) District, is owned by the Rockwall Economic Development Corporation (REDC), and currently serves as regional detention for Phase 2 of the Rockwall Technology Park. Continuing south and adjacent to this tract of land is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) large industrial facilities (*i.e. Pratt Industries and Lollicup*), which are zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 20.51-acre tract of land (i.e. Tract 22, of the R. Irvine Survey) zoned for Commercial (C) District. North of this tract of land is a 4.317-acre tract of land (i.e. Tract 22-01 of the R. Irvine Survey), which is occupied by Big Tex Trailers and zoned Light Industrial (LI) District.

West: Directly west of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.1917-acre parcel of land (i.e. Love’s Country Store) followed by two (2) vacant tracts of land (i.e. Tract 9-9 [1.898-acres] and Tract 9-11 [1.30-acres of the J Lockhart Survey, Abstract No. 134]), and a 3.0654-acre parcel of land identified as Lot 1, Block 1, Ya-Hoo Subdivision (i.e. Photo Technologies). All of these properties are zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Sports and Recreation Facility* is a permitted *by-right* land use in a Commercial (C) District. The subject property proposes two (2) points of ingress and egress (i.e. the main entrance will be accessed via Corporate Crossing, with the exception of Lot 5, Block A, which will be accessed via Capital Boulevard. The main entrance will connect with IH-30 Frontage Road in the future). The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	x>6.38-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	x> 1,300-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	x>3,000-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>300-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet w/FRW	x>1,200-feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet w/FRW	x=515-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	x>49’10”; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x<51%; In Conformance
<i>Minimum Masonry Requirement</i>	N/A	Not Required
<i>Minimum Number of Parking Spaces</i>	1/250 SF of Recreation, 3/Game Court, 1/200 SF Gym & Medical Office (187 Required)	x=225; In Conformance
<i>Minimum Stone Requirement</i>	N/A	Not Required
<i>Minimum Landscaping Percentage</i>	20%	x=42.7%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	x<90%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 163-caliper inches of tree are to be removed from the site, of which all are hackberry trees. The applicant is providing approximately 40, four (4) inch caliper canopy trees on site, which will satisfy the required tree mitigation for this development.

CONFORMANCE WITH THE CITY’S CODES

Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), indicates that the Commercial (C) District is intended to provide most types of commercial development (e.g. larger shopping centers at major intersections, commercial strips along arterial roadways, etc.) and includes most types of office and retail activity. Properties zoned Commercial (C) District are generally located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by these types of land uses. Since the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. In this case, the applicant’s

development appears to adhere to all applicable requirements and the intent of the Commercial (C) District stipulated by the Unified Development Code (UDC).

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *IH-30 Corridor District* which is...“the primary retail corridor for the City of Rockwall...and acts as the western gateway for both the City and County of Rockwall,” which includes medical uses, retail, and industry. The IH-30 corridor is “vital to maintain a high per capita sales tax for the City of Rockwall.” The applicant’s site plan appears to meet the intent of Comprehensive Plan for a recreation and sport complex located within the *IH-30 Corridor District*.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval of the applicant’s request by a vote of 3-0, with Board Members Meyrat, Miller, Neill, and Avenetti absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s *Site Plan* for a sports complex on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **6.38**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Structured REA-Rockwall Land, LLC**

APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 377.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

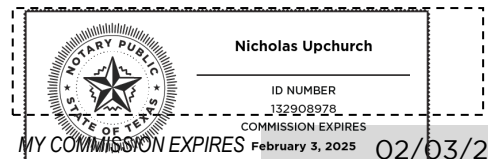
State of Texas, County of Hays
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21

OWNER'S SIGNATURE

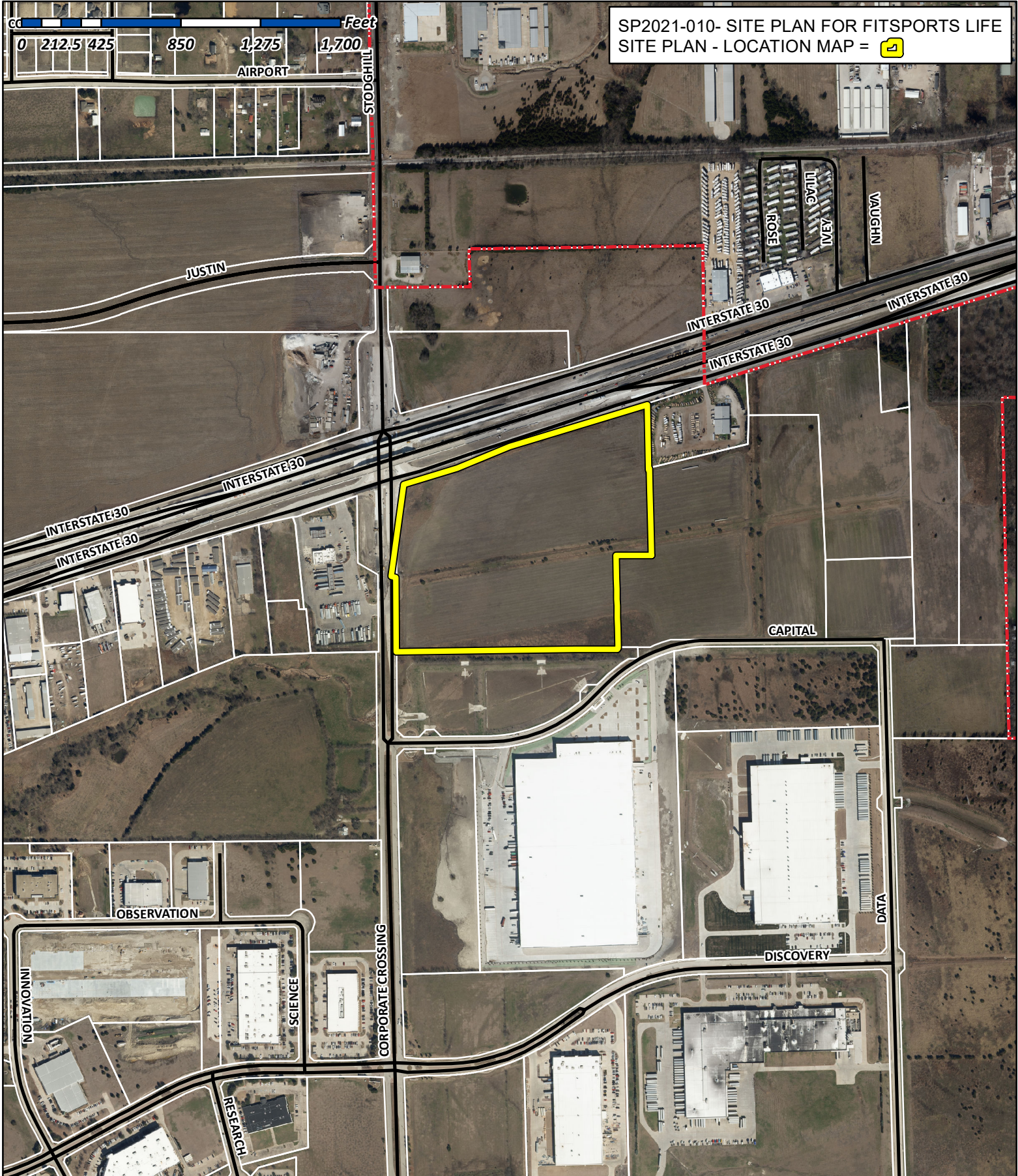
Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch



MY COMMISSION EXPIRES February 3, 2025 02/03/2025



SP2021-010- SITE PLAN FOR FITSPORTS LIFE
 SITE PLAN - LOCATION MAP = [icon]



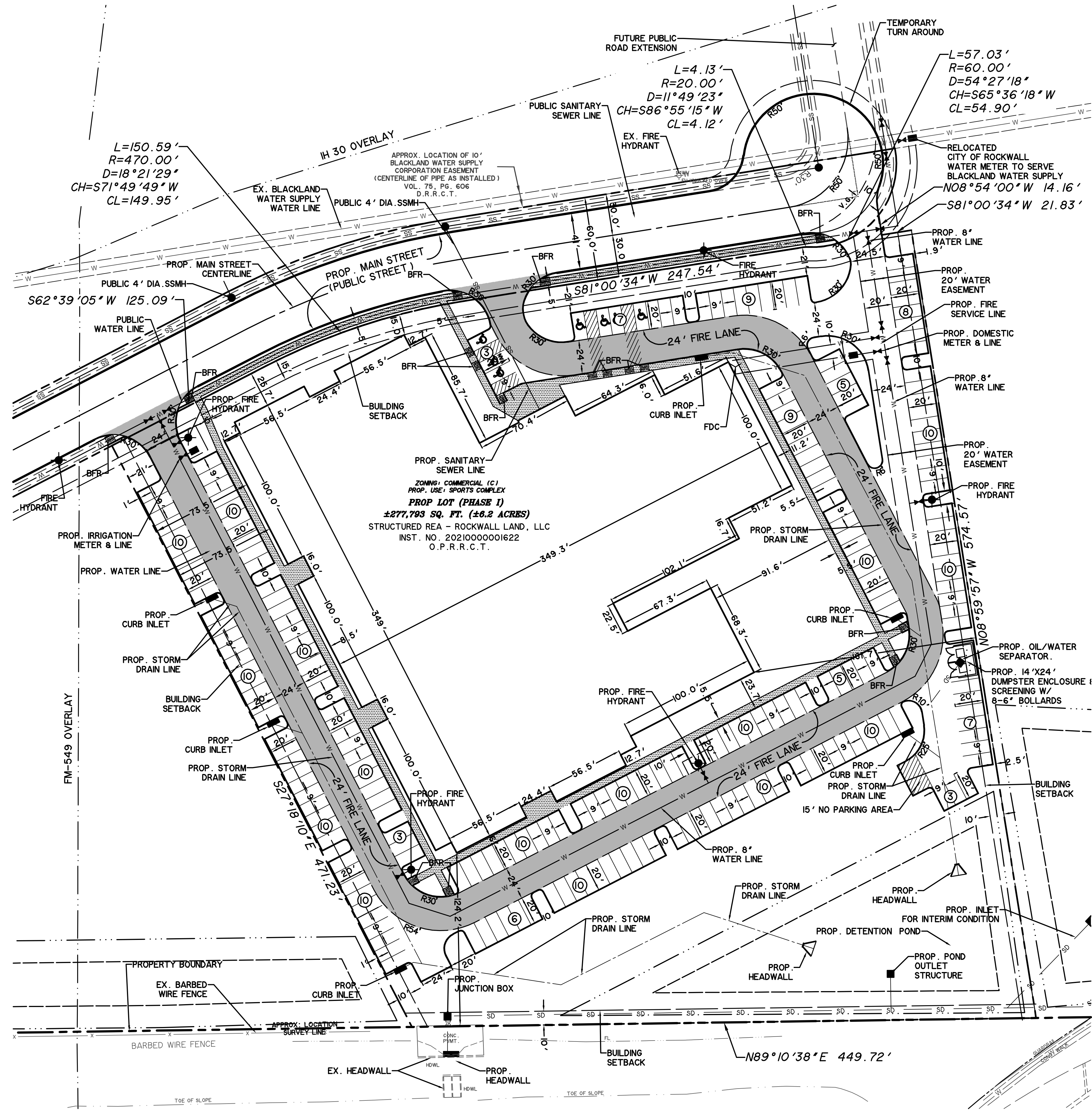
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 5/4/2021 5:09 AM FILE: WIER-PAVING-STB LAST SAVED: 5/4/2021 9:09 AM SAVED BY: RANDY E. FILE: CITY SITE PLAN - 19144.DWG



SITE DATA SUMMARY	
ZONING	COMMERCIAL (C)
TRACT INFO	EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±)
PROP. LOT AREA	PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±)
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX
PROPOSED BUILDING AREA	87,155 SF±
BUILDING COVERAGE	31.37%
BUILDING HEIGHT	1 STORY
MINIMUM REQUIRED PARKING	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ONSITE PAVEMENT SHALL BE:

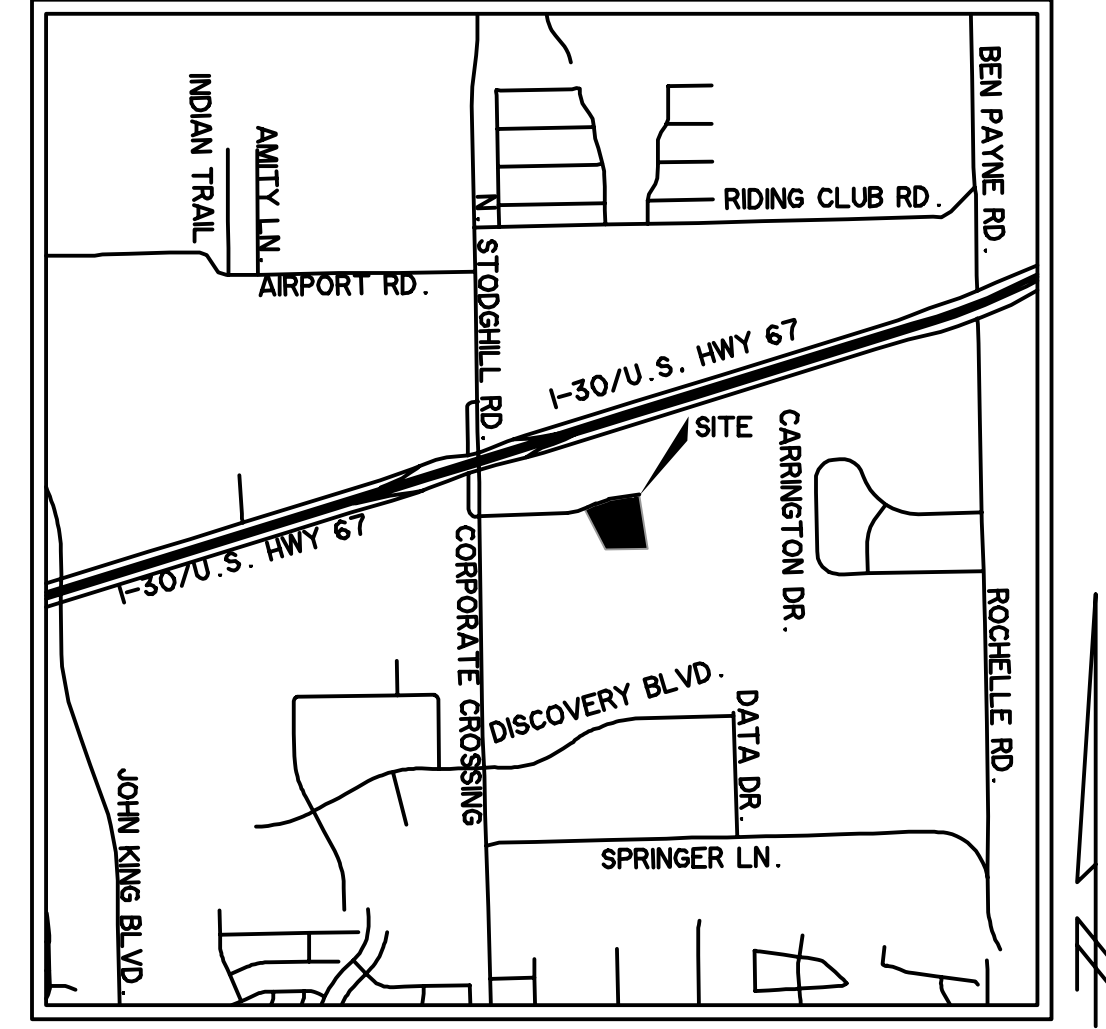
PARKING: 5' CONCRETE PAVEMENT
FIRE LANE: 6' CONCRETE PAVEMENT
DUMPSTER: 7' CONCRETE PAVEMENT

- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

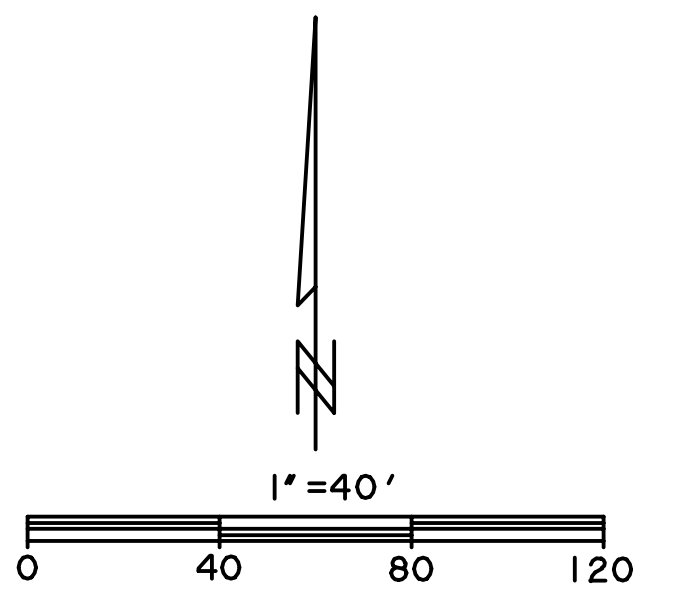
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



VICINITY MAP
NOT TO SCALE

LEGEND

- SSMH ⊙ EXISTING SANITARY SEWER MANHOLE
- FS ⊙ EXISTING SANITARY SEWER CLEAN OUT
- FH ⊕ EXISTING FIRE HYDRANT
- WM ⊙ EXISTING WATER METER
- WM □ EXISTING WATER VAULT
- SS — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- SD — PROPOSED STORM DRAIN LINE
- - - - PHASE I PARCEL BOUNDARY
- — — — PROPERTY BOUNDARY
- — — — PROPOSED WATER EASEMENT
- — — — PROPOSED FIRE LANE
- — — — BUILDING SETBACK
- BFR BARRIER FREE RAMP
- ▨ PROP. SIDEWALK
- ▨ PROP. PUBLIC ACCESS & UTILITY EASEMENT



SITE PLAN
FITSPORTSLIFE PHASE I
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

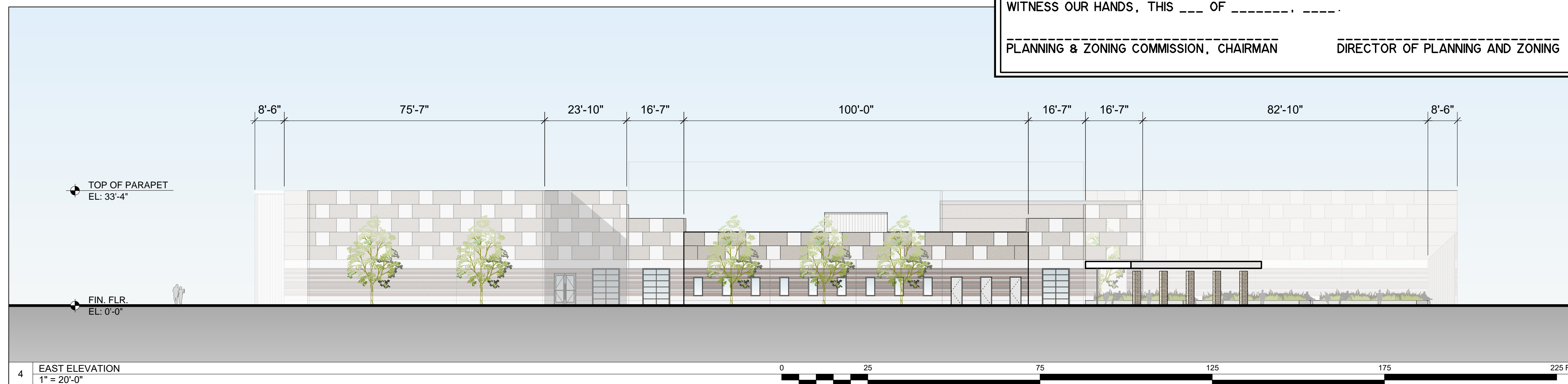
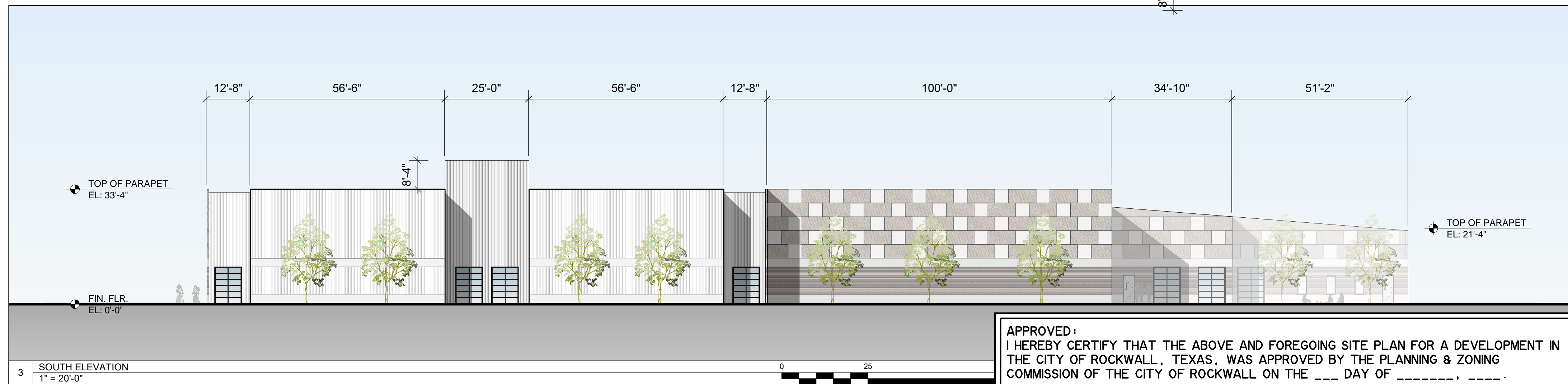
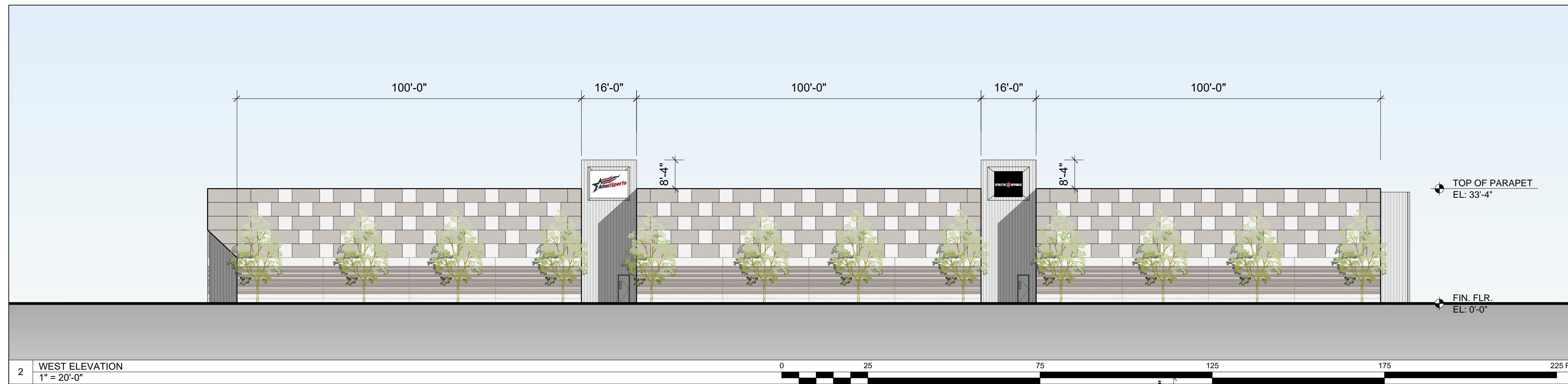
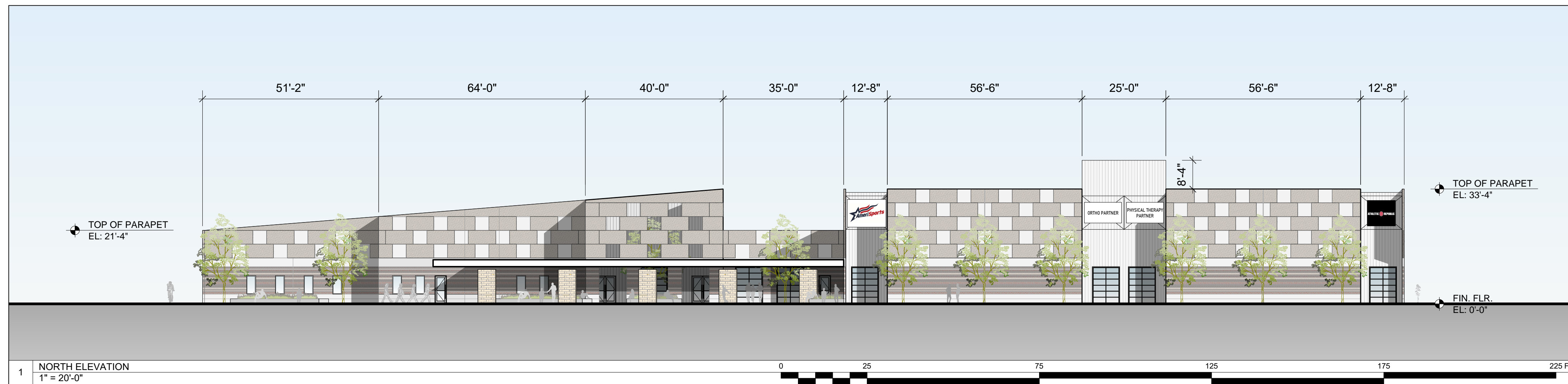
PREPARED BY:
WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104567 On
Date Shown Below.

SP2021-010

SHEET 1 OF 2

DATE: 5/4/2021
W.A. No. 19144

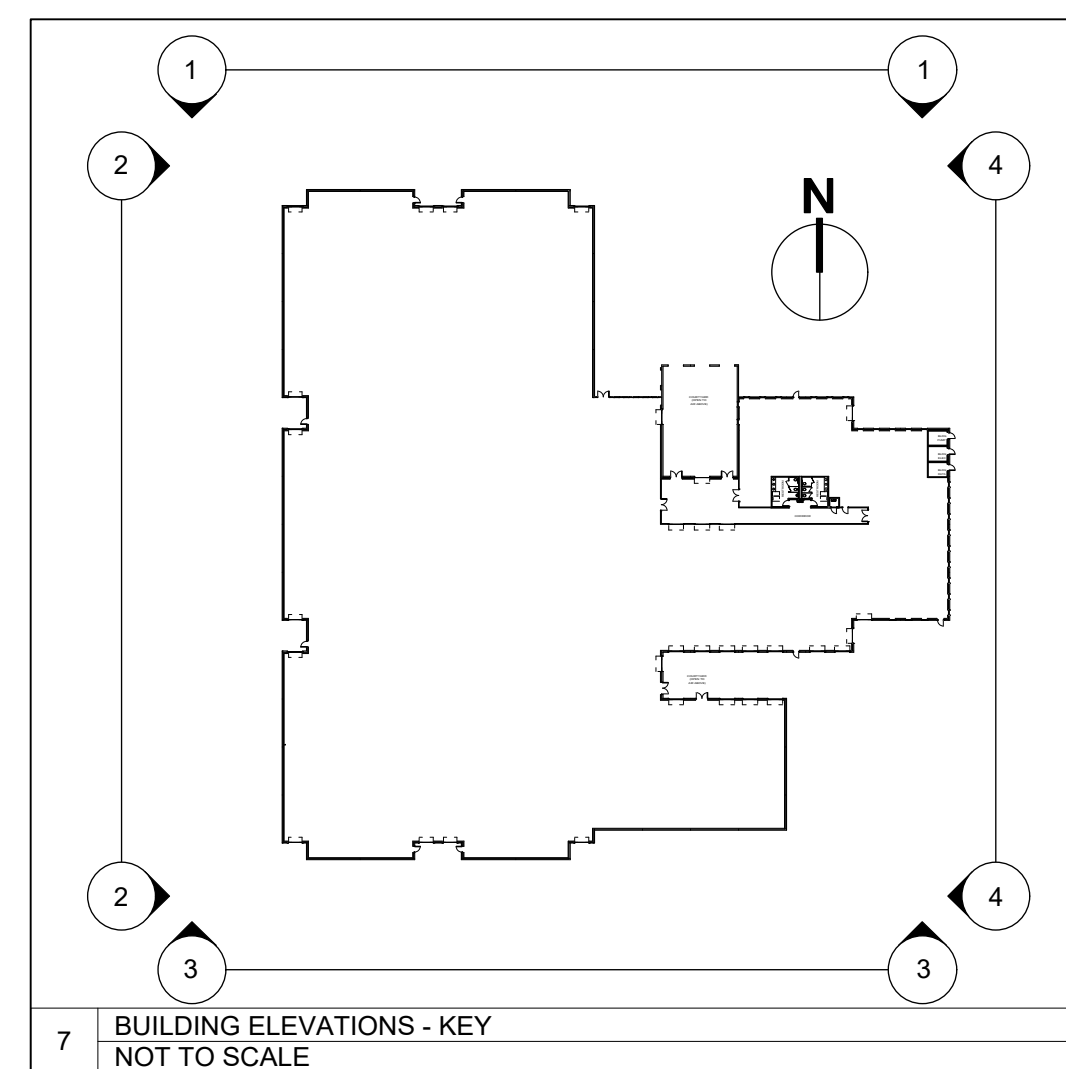
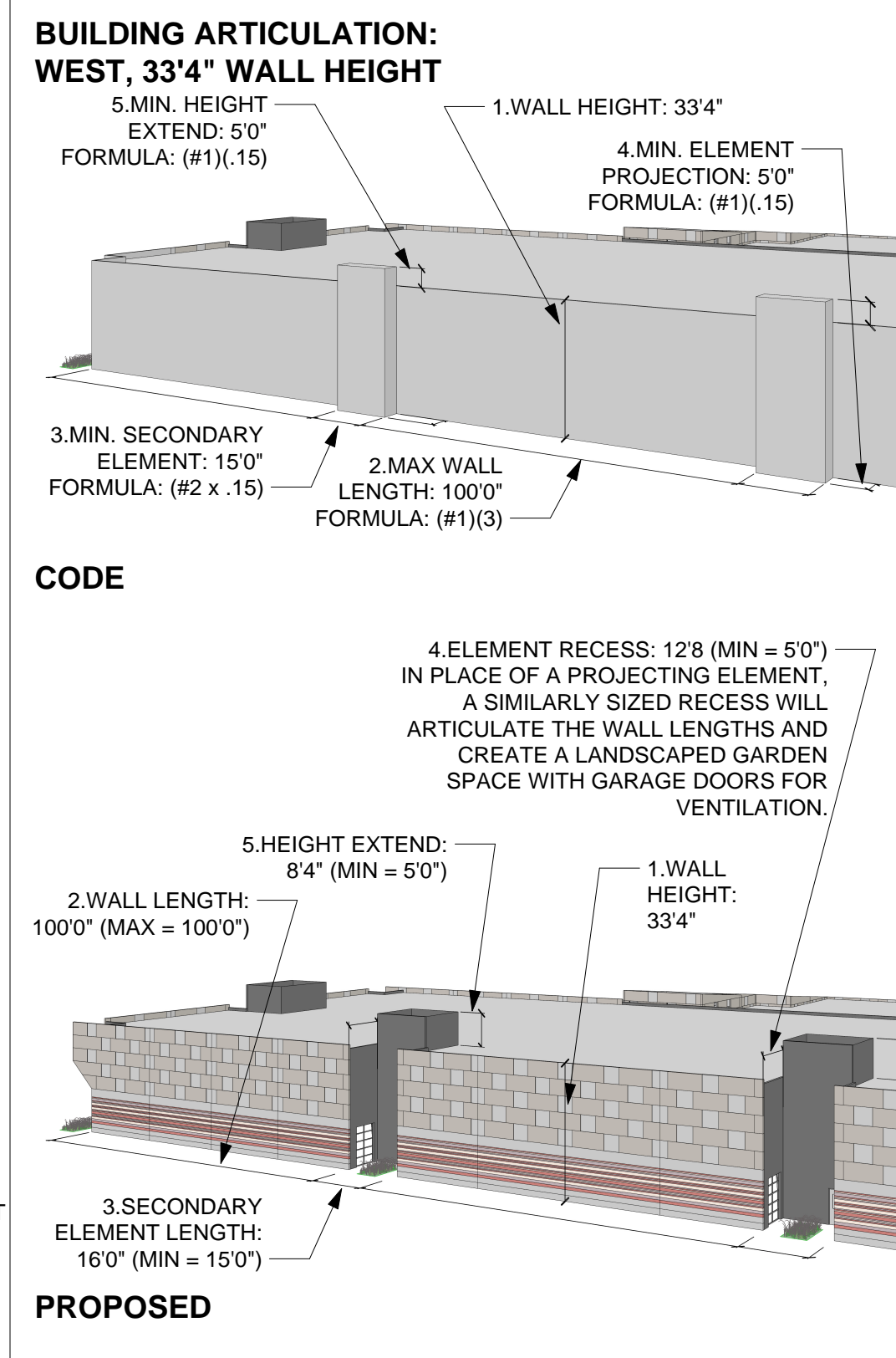
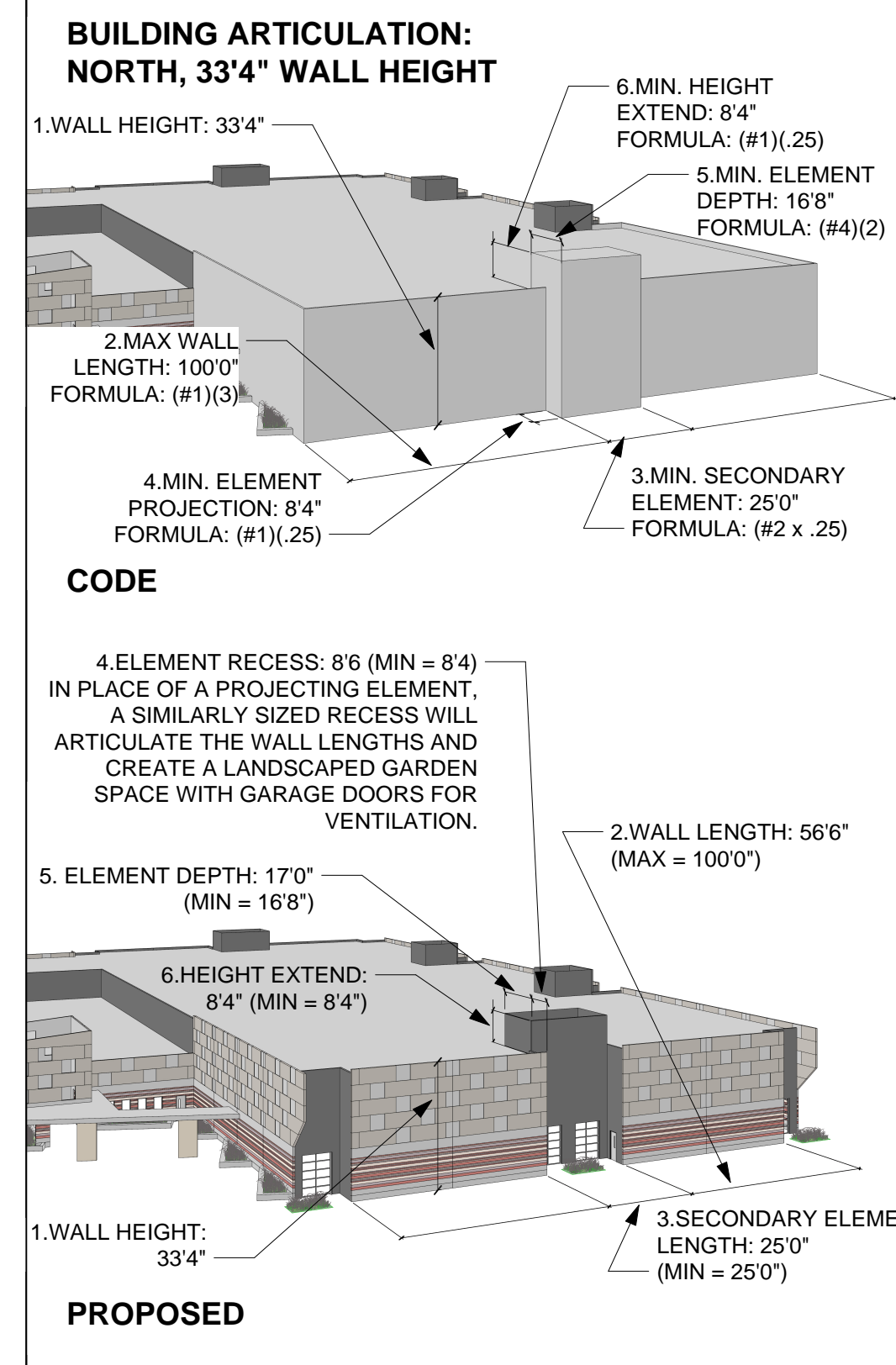
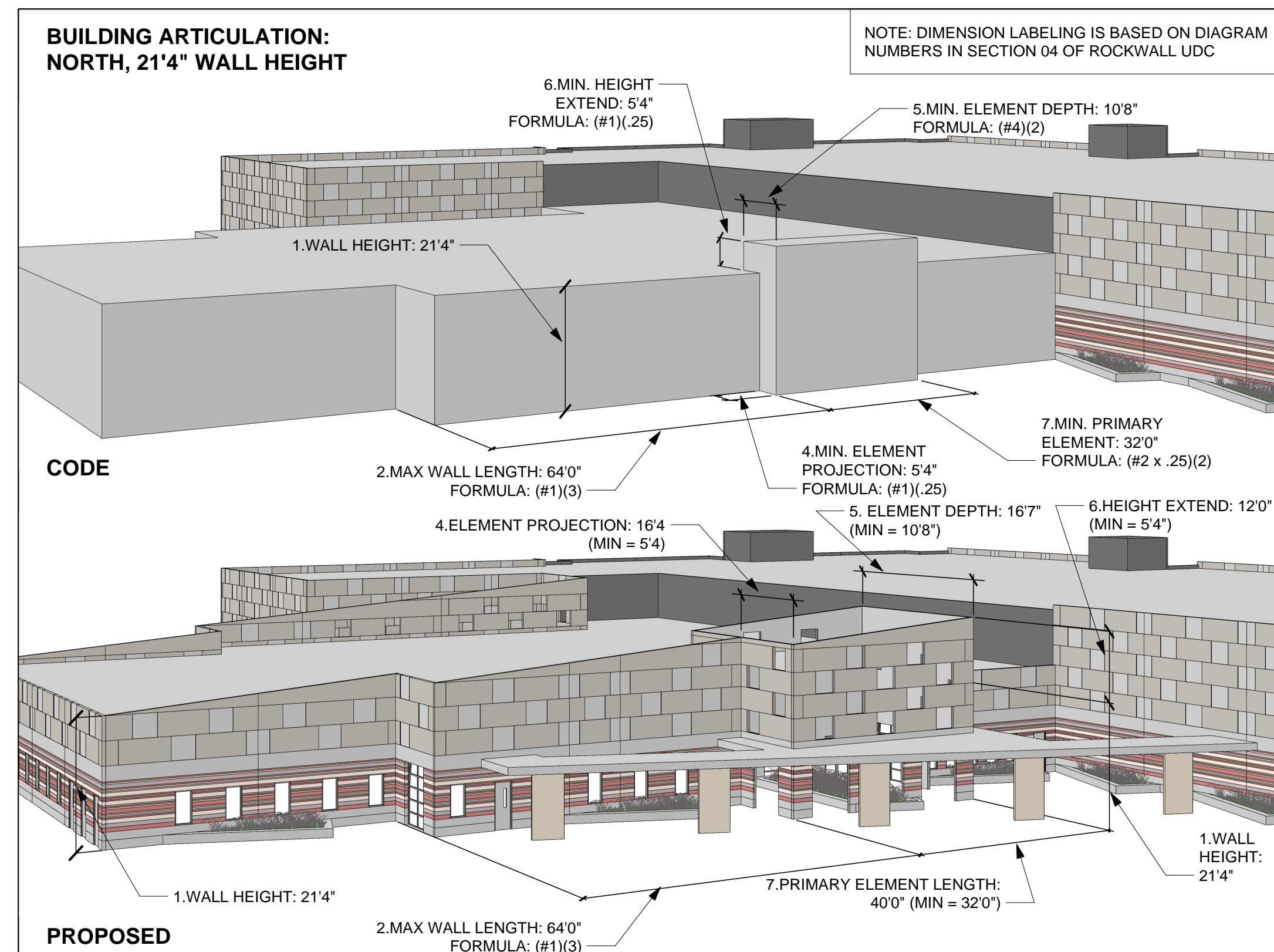


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WITNESS OUR HANDS, THIS ___ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



WDS Structured
wefing design studio REAL ESTATE

PROJECT **FITSPORTLIFE
ROCKWALL, TEXAS**
CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

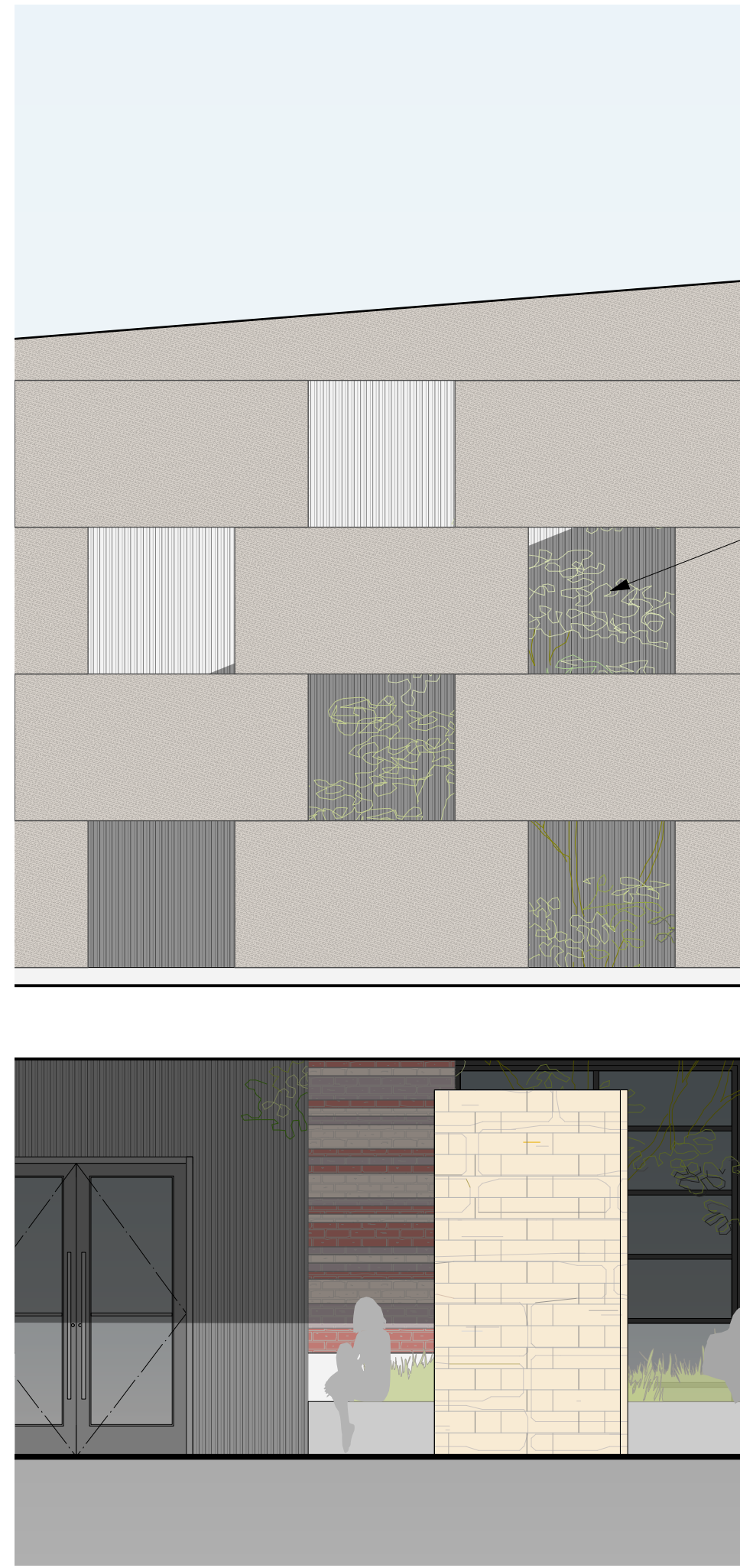
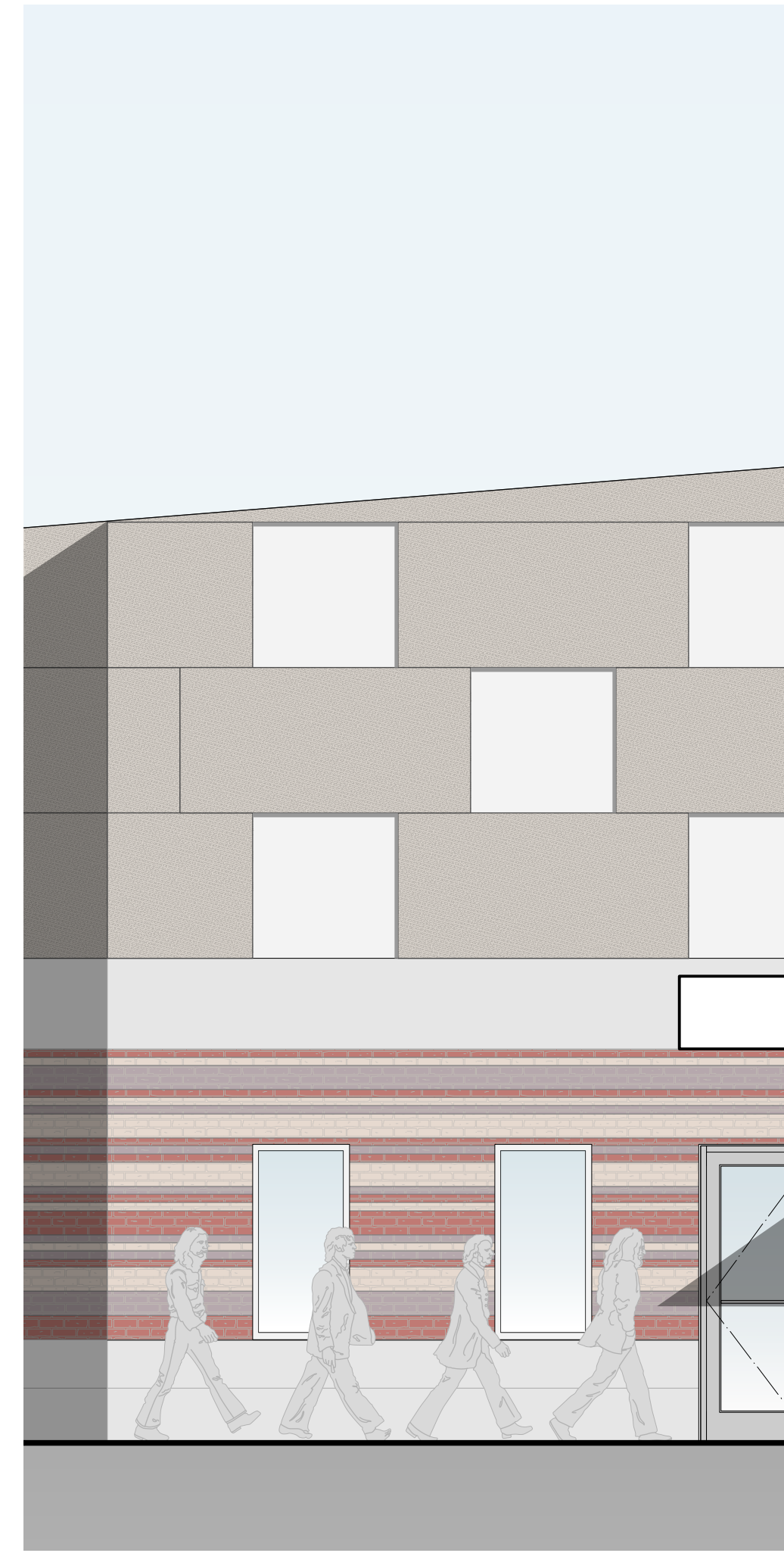
SUBMISSION	
#	DATE
1	03/19/2021
2	
3	
4	

DESCRIPTION
SITE PLAN REVIEW

**SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION**

DRAWING TITLE **ELEVATIONS
SP2021-010**

DRAWING NO. **A-2.0**



- PERFORATED WALLS AT COURTYARD
- 6' x 10' SIGNAGE PER CODE
- SMOOTH CONCRETE FINISH
- TEXTURED CONCRETE FINISH
- FLUTED CONCRETE WALLS, PAINTED
- CONTINUOUS BRICK BAND
- TEXAS STONE
- PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



SMOOTH CONCRETE

TEXTURED CONCRETE

TEXAS STONE

LANDSCAPE BEHIND PERFORATED WALLS

FLUTED CONCRETE WALLS



CONTINUOUS 10' HIGH BRICK BAND

APPROVED:
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 WITNESS OUR HANDS, THIS ___ OF _____, _____.
 _____ PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING

WDS *Structured*
 wefing design studio REAL ESTATE

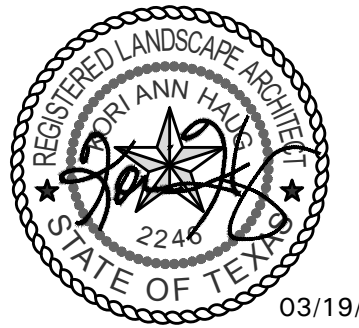
PROJECT **FITSPORTLIFE**
ROCKWALL, TEXAS
 CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

SUBMISSION	
#	DATE
1	03/19/2021
	SITE PLAN REVIEW

SITE PLAN REVIEW:
NOT FOR
CONSTRUCTION

DRAWING TITLE **MATERIALS BOARD**
SP2021-010

DRAWING NO. **A-2.1**



**FitSportsLife
Phase 1**
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date: Detail:

Sheet Title:
**TREE
PRESERVATION
PLAN**
Sheet Number:
L1.01
SP2021-010

TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
2	12	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
3	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
4	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
5	11	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
6	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
7	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
8	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
9	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
10	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
11	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
12	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
13	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
14	10	HACKBERRY	TO BE REMOVED	NOT PROTECTED
15	13	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED
16	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
17	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED
18	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED
Total Caliper Inches on Site				163
Total Caliper Inches Removed				163
Total Mitigation Inches Required				31.5
Total Mitigation Inches Provided				32

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



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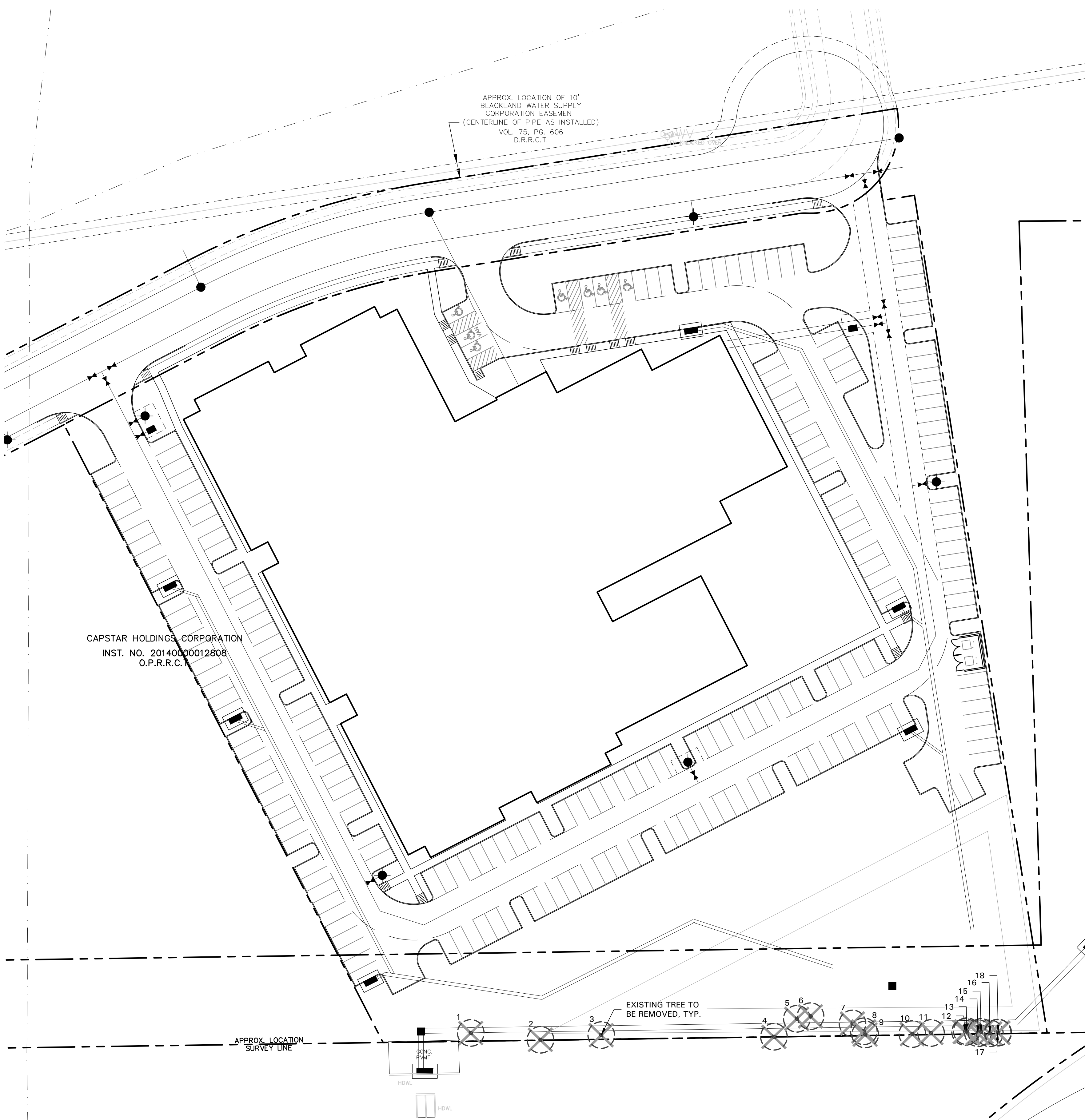
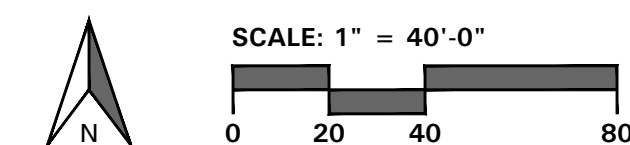
WITNESS OUR HANDS, THIS ___ OF _____.

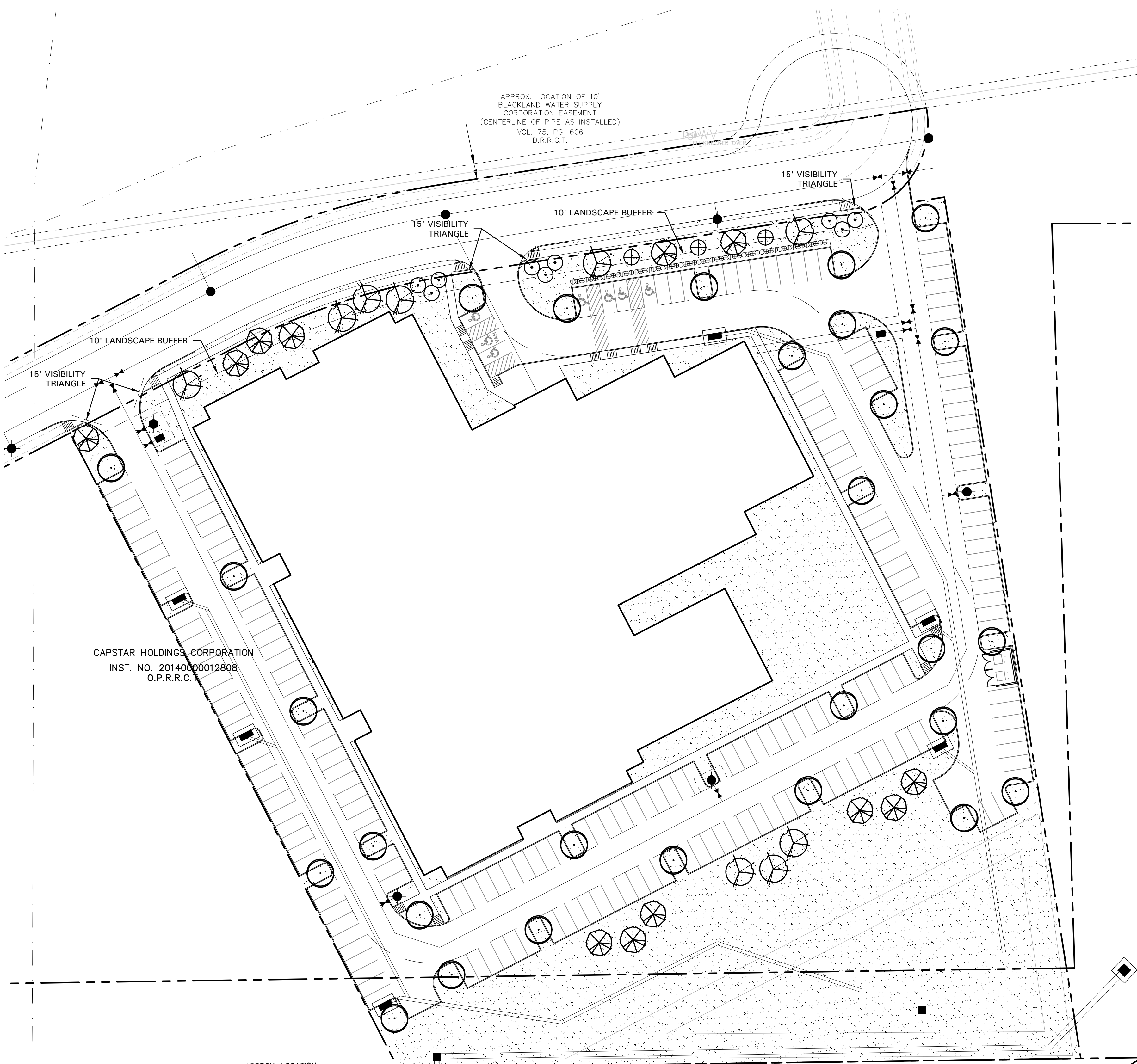
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE NO: MISC-21-#### SP-21-####
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/ APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE





CAPSTAR HOLDINGS CORPORATION
INST. NO. 20140000012808
O.P.R.R.C.T.

APPROX. LOCATION OF 10"
BLACKLAND WATER SUPPLY
CORPORATION EASEMENT
(CENTERLINE OF PIPE AS INSTALLED)
VOL. 75, PG. 606
D.R.R.C.T.

APPROX. LOCATION
SURVEY LINE

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crape Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	9	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	28	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	12	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	3	30 gal.	container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER					
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	57	5 gal.	container full, 20" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE: MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES
1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

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WITNESS OUR HANDS, THIS ___ OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS
THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.
 Required: (12) canopy trees, 4" cal. Provided: (12) canopy trees, 4" cal.
 (12) accent trees, 4' min. ht. (12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscaped.
- One (1) canopy tree per 10 parking spaces

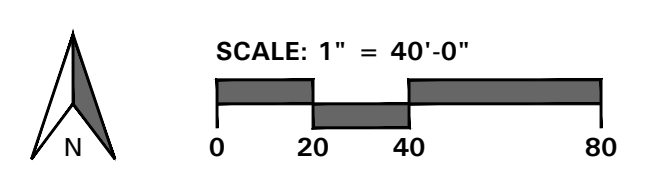
Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

Required: 2,072 s.f. (5%) Provided: 7,238 s.f. (17%)
(23) canopy trees (28) canopy trees

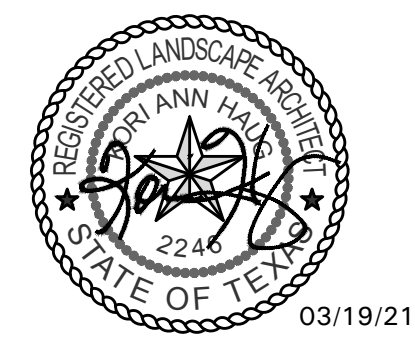
SITE LANDSCAPING

- Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.
 Required: 34,169 s.f. (15%) Provided: 95,456 s.f. (42%)
 17,084 s.f. (50%) 33,262 s.f.



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



FitSportsLife
Phase 1
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date Detail:

Sheet Title:
LANDSCAPE PLAN
Sheet Number:
L2.01
SP2021-010



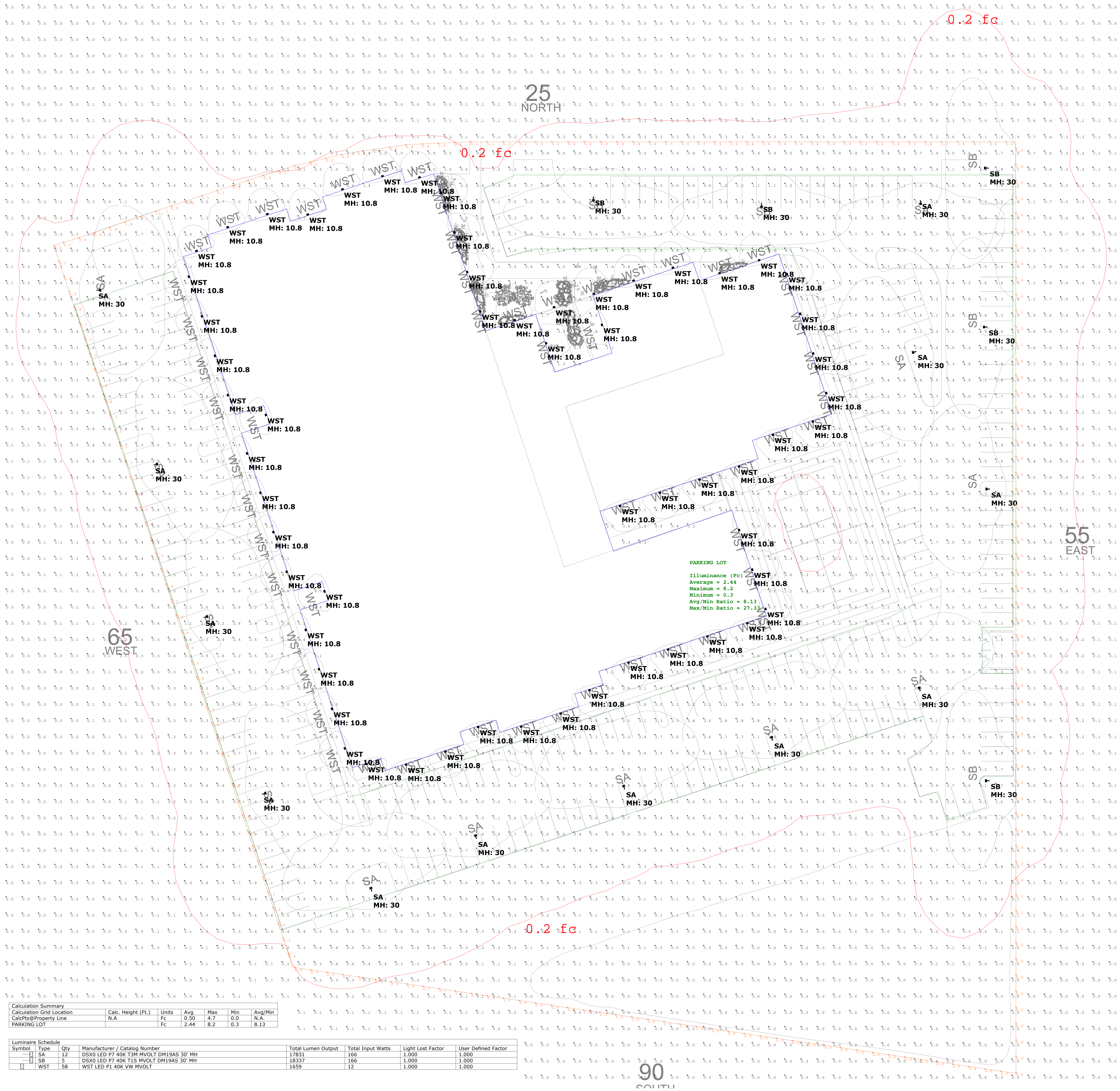
- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



PARKING LOT
 Illuminance (Fc)
 Average = 2.44
 Maximum = 8.2
 Minimum = 0.3
 Avg/Min Ratio = 8.13
 Max/Min Ratio = 27.33

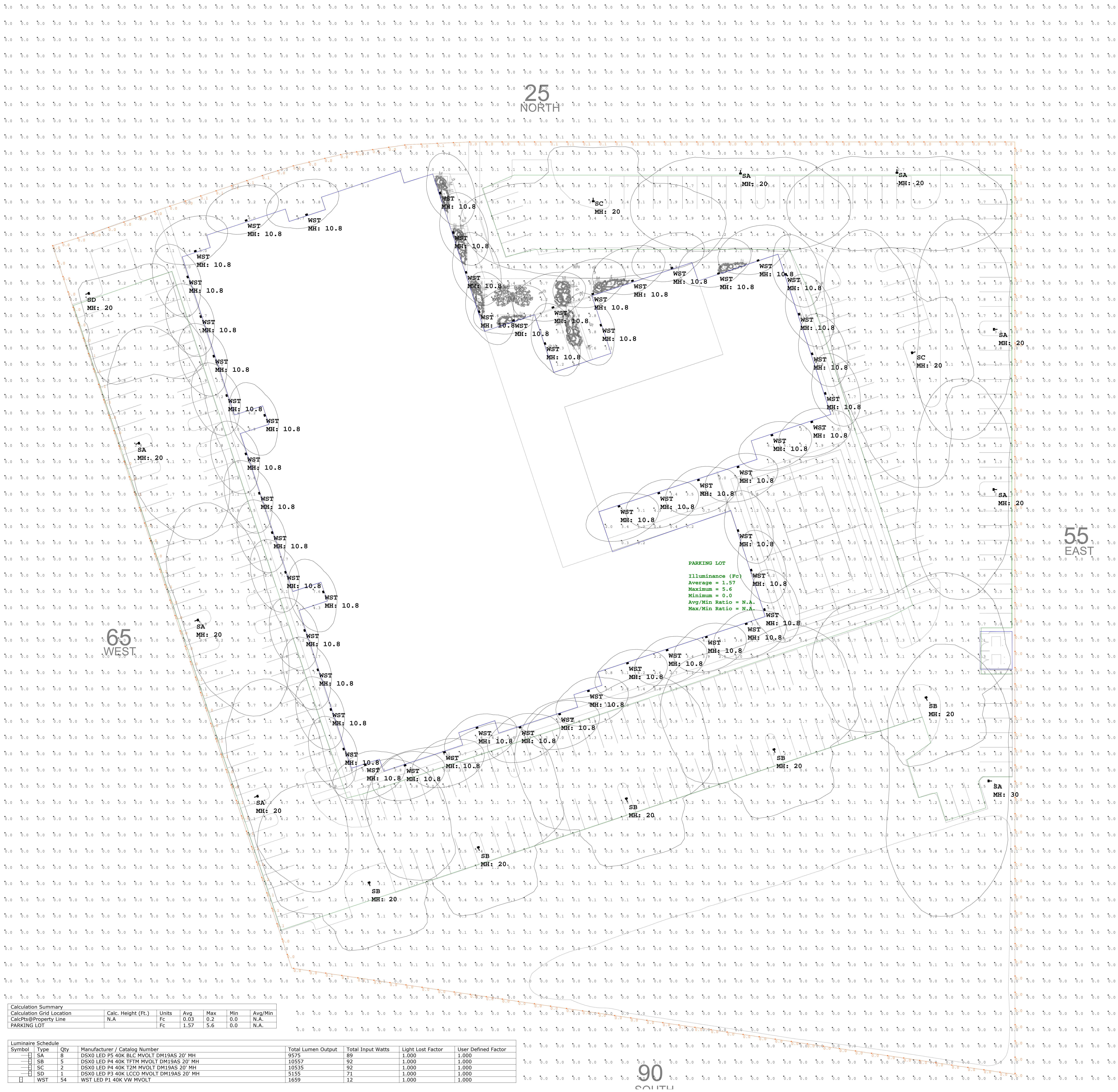
Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
Calc: Pts@Property Line	N/A	Fc	0.50	4.7	0.0	N.A.
PARKING LOT		Fc	2.44	8.2	0.3	8.13

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	User Defined Factor
SA	12	DSX0 LED P7 40K T3M MVOLT DM19AS 30' MH	17831	166	1,000	1,000
SB	5	DSX0 LED P7 40K T15 MVOLT DM19AS 30' MH	18337	166	1,000	1,000
WST	58	WST LED P1 40K VW MVOLT	1659	12	1,000	1,000

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/30
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Shows lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumens output of solid luminaires, multiply Total Lumen Output by User Defined Factor.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.
 WITNESS OUR HANDS, THIS ____ OF _____.
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
 - B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
 - C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.
- (Ord. No. 10-14, § 51, 7-6-2010)
- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.
- (Ord. No. 06-14, 4-17-2006)
- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



PARKING LOT
 Illuminance (Fc)
 Average = 1.57
 Maximum = 5.6
 Minimum = 0.0
 Avg/Min Ratio = N/A
 Max/Min Ratio = N/A

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
CalcPts@Property Line	N/A	Fc	0.03	0.2	0.0	N/A
PARKING LOT	N/A	Fc	1.57	5.6	0.0	N/A

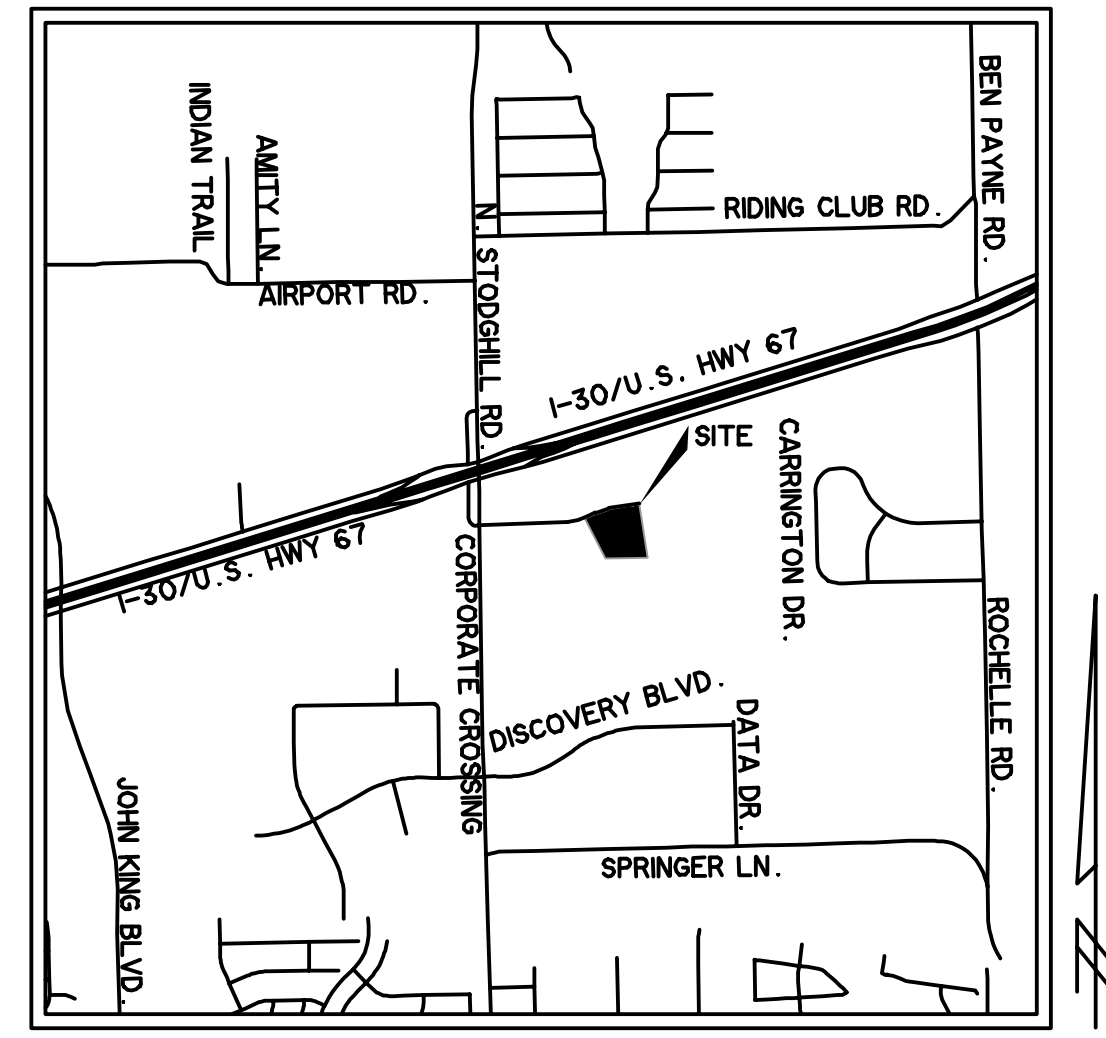
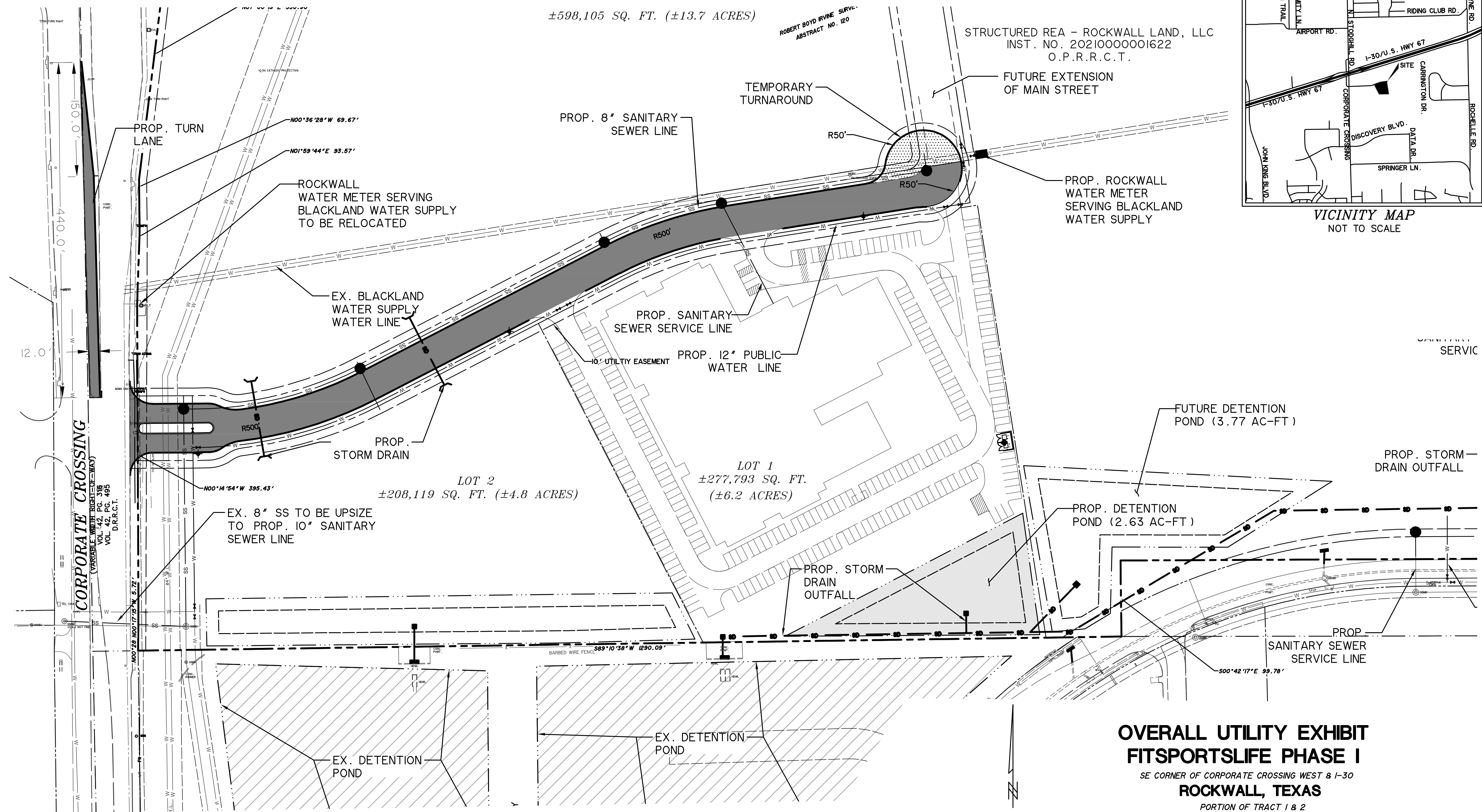
Luminaire Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
SA	8	DSX0 LED P5 40K BLC MVOLT DM19AS 20' MH	9575	89	1,000	1.000	
SB	5	DSX0 LED P4 40K TFM MVOLT DM19AS 20' MH	10557	92	1,000	1.000	
SC	2	DSX0 LED P4 40K T2M MVOLT DM19AS 20' MH	10535	92	1,000	1.000	
SD	1	DSX0 LED P3 40K LCCO MVOLT DM19AS 20' MH	5155	71	1,000	1.000	
WST	54	WST LED P1 40K VV MVOLT	1659	12	1,000	1.000	

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "TM".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Schema lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



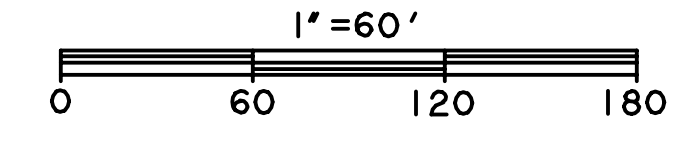
LEGEND

SSMH @	EXISTING SANITARY SEWER MANHOLE	---	R. O. W. BOUNDARY
SSCO O	EXISTING SANITARY SEWER CLEAN OUT	▒	PROPOSED DETENTION POND
FH ⊕	EXISTING FIRE HYDRANT	▒	EXISTING DETENTION POND
WM ⊕	EXISTING WATER METER	▒	DETENTION POND BY OTHERS
WM ⊕	EXISTING WATER VAULT	▒	PHASE I PUBLIC PAVING
---	EXISTING WATER LINE	▒	PHASE I TEMPORARY TURN AROUND
---	EXISTING SANITARY SEWER LINE		
---	PROPOSED WATER LINE		
---	PROPOSED SANITARY SEWER LINE		
---	PROPOSED STORM DRAIN LINE		
---	ADJOINING PROPERTY BOUNDARY		
---	PROPERTY BOUNDARY		

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ____.

WITNESS OUR HANDS, THIS ___ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

**OVERALL UTILITY EXHIBIT
FITSPORTSLIFE PHASE I**
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REAL ESTATE, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

SP2021-010 SHEET 2 OF 2

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, PE
Texas Registration
No. 104367 On
Date Shown Below.

DATE: 5/4/2021
W.A. No. 19144



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Chris Maynor; *Z Constructors Nationwide, LLC*
CASE NUMBER: SP2021-013; *Site Plan for Rockwall Rotary Club*

SUMMARY

Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

BACKGROUND

According to the August 25, 1934 Sanborn Maps, the subject property was annexed prior to April 1934. The January 3, 1972 zoning map indicates the subject property was zoned General Retail (GR) District. According to the Rockwall County Appraisal District (RCAD) the existing 2,675 SF building situated on the subject property was constructed in 1975. On April 11, 1980 the subject property was platted as the Roca Village Addition. On August 4, 2007, the City Council approved a zoning case rezoning the subject property from a General Retail (GR) District to Downtown (DT) District [*Case No. Z2007-012*]. No additional physical changes have been made to the subject property since the building was constructed in 1975.

PURPOSE

On April 16, 2021, the applicant -- *Chris Maynor of Z Constructors Nationwide LLC* -- submitted an application requesting the approval of an amended site plan for the purpose of constructing an 831 SF addition to the existing 2,675 SF building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 408 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Lake Meadows Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) developed parcels of land zoned Downtown (DT) District. Beyond this is S. Goliad Street, which is designated as a P3U (*i.e. principal arterial, three [3] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8161-acre parcel of land developed with a strip retail center zoned General Retail (GR) District. Beyond this is Kenway Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) developed parcels of land zoned General Retail (GR) District.

East: Directly east of the subject property is S. Goliad Street, which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.021-acre parcel of land developed with a strip retail center zoned Downtown (DT) District. East of this are two (2) vacant parcels of land zoned Downtown (DT) District.

West: Directly west of the subject property is a 1.62-acre parcel of land zoned Multi-Family 14 (MF-14) District. Beyond this are two (2) parcels of land with single-family homes situated on them that are zoned Single Family 7 (SF-7) District. West of this is Ridgeview Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land with single-family homes situated on them that are zoned Single Family 7 (SF-7) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Private Club, Lodge or Fraternal Organization* building is permitted with a Specific Use Permit (SUP) in the Downtown (DT) District; however, this land use has existed on the subject property prior to this requirement and is considered to be legally non-conforming. Therefore, no additional approvals are necessary with regard to the proposed land use given this is an expansion of the existing use. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=30,056 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=233-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=168-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>18-Feet</i>	<i>X=65-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=13-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=51-Feet; In Conformance</i>
<i>Landscape Buffer</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>16 Parking Spaces</i>	<i>X=35 Spaces; In Conformance</i>

TREESCAPE PLAN

The proposed landscape plan does not propose removing any trees on the subject property. Therefore, this case does not require a Treescape Plan.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 04.07, *Commercial District*, of Section 04, *Downtown (DT) District*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), “the purpose of the Downtown District is to implement the adopted recommendations of the comprehensive plan and Downtown Plan by encouraging new development and redevelopment in the Downtown area.” In this case, the existing building is considered legally non-conforming and does not meet the UDC standards, however the proposed elevations bring the existing building closer into conformance with the UDC. Also the proposed 831 SF addition meets all of the density and dimensional requirements within the UDC.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Downtown District and is zoned as Downtown (DT) District. According to the district strategies, “... the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small town character.” In this case, the addition and updates to the existing elevations allow the same use to continue, while providing updates to an existing legally non-conforming building.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval by a vote of 4-0, with Board Members Miller, Avenetti, and Neill absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an 831 SF addition to the existing building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEADOWS DR.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Sman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

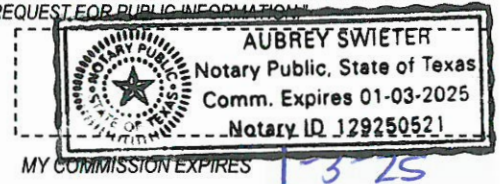
NOTARY VERIFICATION [REQUIRED]

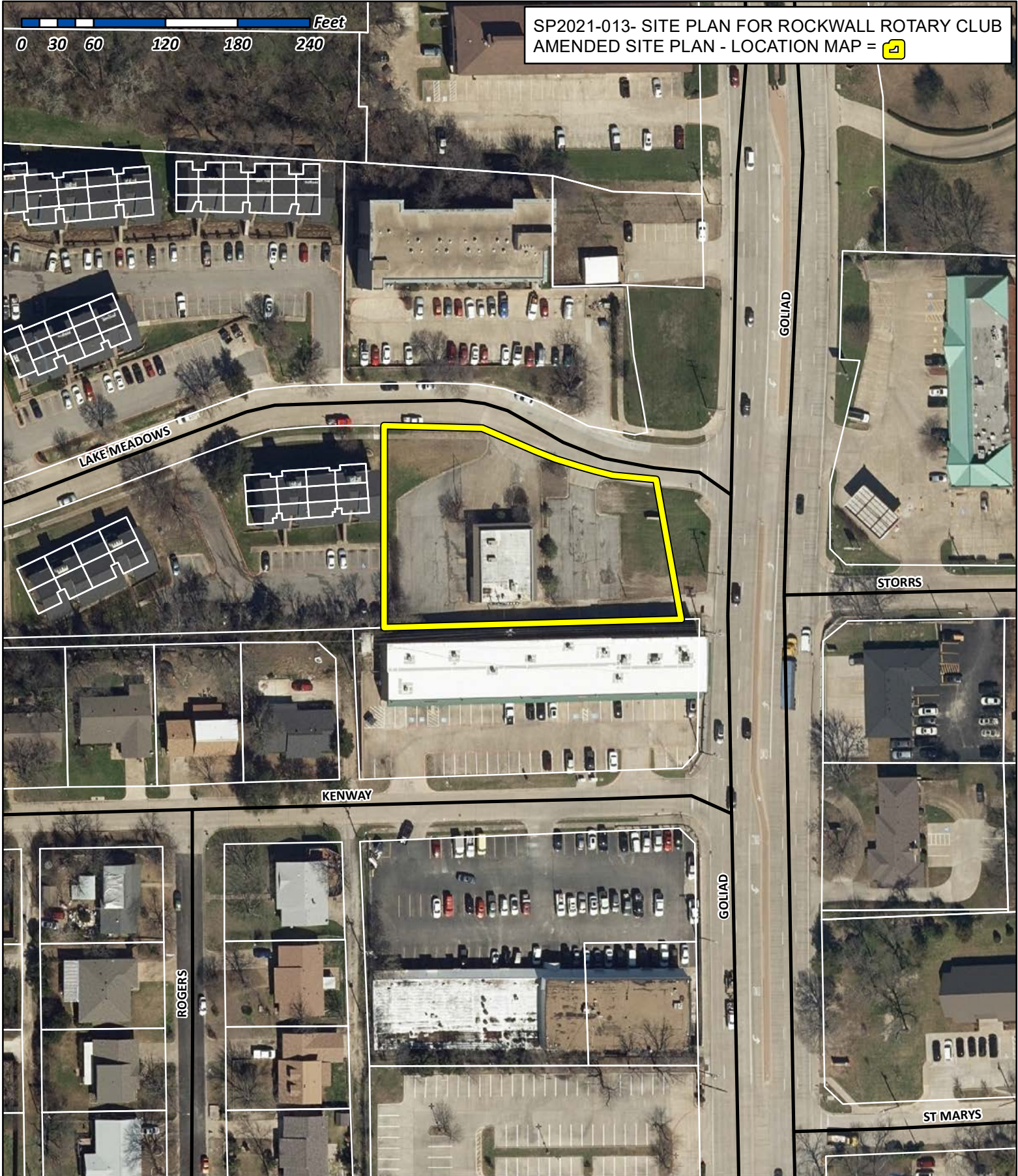
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 2021.

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2021-013- SITE PLAN FOR ROCKWALL ROTARY CLUB
 AMENDED SITE PLAN - LOCATION MAP =



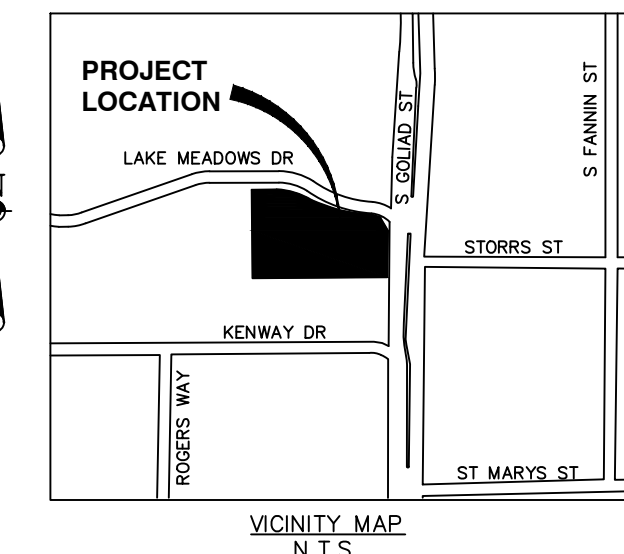
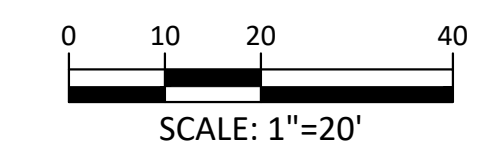
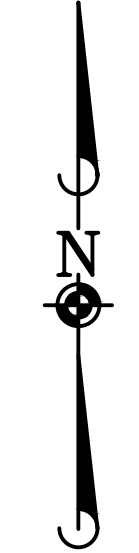
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



- NOTES**
- NO EXISTING OR PROPOSED FENCES.
 - NO UTILITY EQUIPMENT PAD/GROUND OR ROOF MOUNTED.
 - NO EXISTING OR PROPOSED DUMPSTER.



LEGEND

●	DOUBLE CLEANOUT
○	SANITARY MANHOLE
□	JUNCTION BOX
◻	CURB INLET
⊞	GRATE INLET
⚡	FDC
⚡	FIRE HYDRANT
⚡	BARRIER FREE RAMP
—	FIRE LANE

SITE DATA TABLE

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	29 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

PAVING LEGEND

	EXISTING ASPHALT TO BE MILLED AND OVERLAID
	SIDEWALK 4" 3,600 PSI (MIN. 6.5 SACK MIX) CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
 - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
 - REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
 - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

OWNER DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	DEVELOPER DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	ENGINEER MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.
--	--	--

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NUMBER: 2021-013

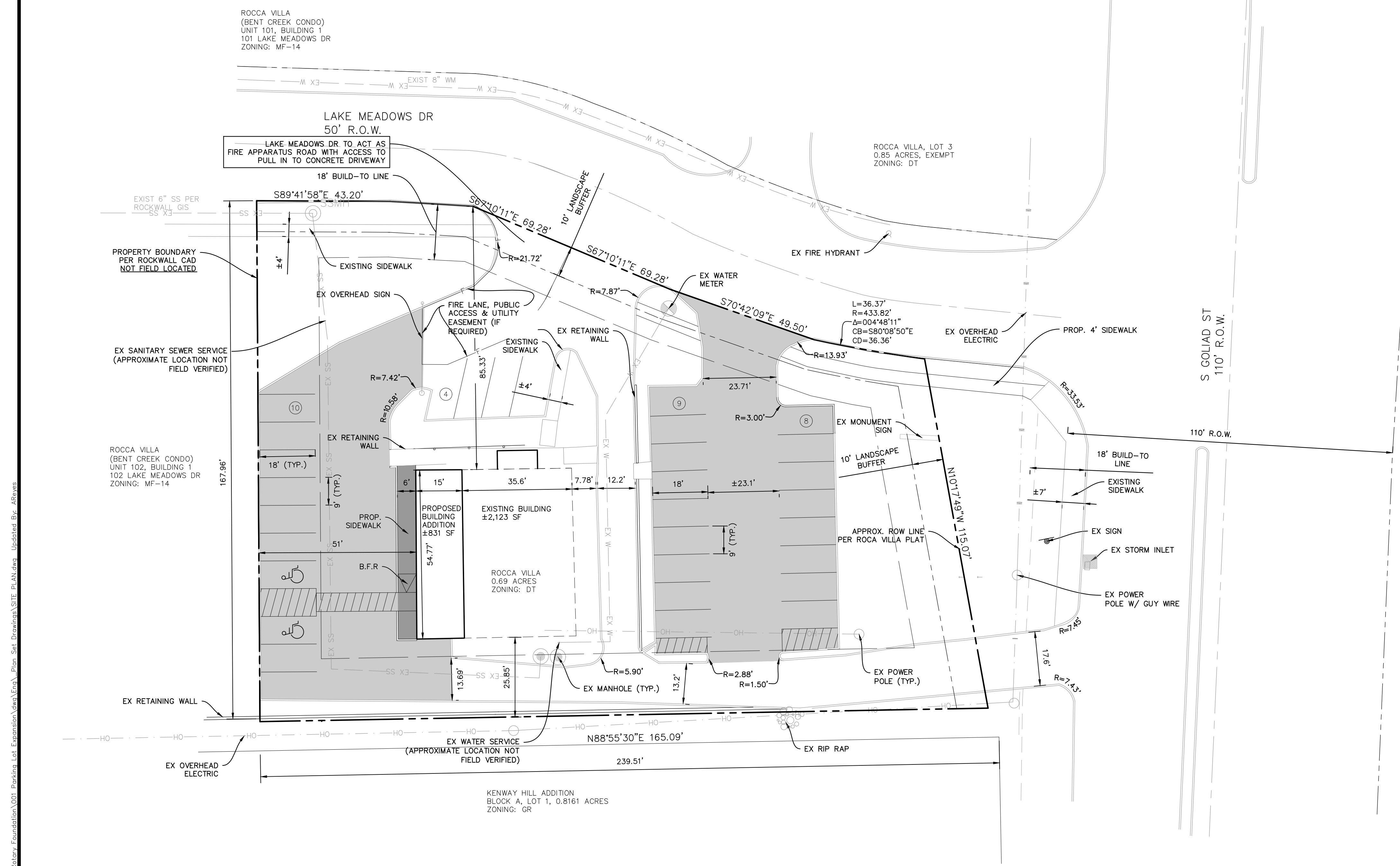
SITE PLAN

408. S GOLIAD STREET - 0.69 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ROCCA VILLA

REVISION LOG	DATE:	DESIGN:
	05/03/2021 - REVISION #1 PER 1ST CITY COMMENTS	04/16/2021
05/04/2021 - REVISION #2 PER 1ST CITY COMMENTS		AV
	CHECKED:	JC



May 4, 2021 - 10:28 Data Name: P:\811\070_Rockwall Rotary Foundation\001_Parking Lot Expansion\Site Plan.dwg Updated By: AR

Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph:972.972.4250 manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

ROCKWALL ROTARY CLUB
408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SITE PLAN

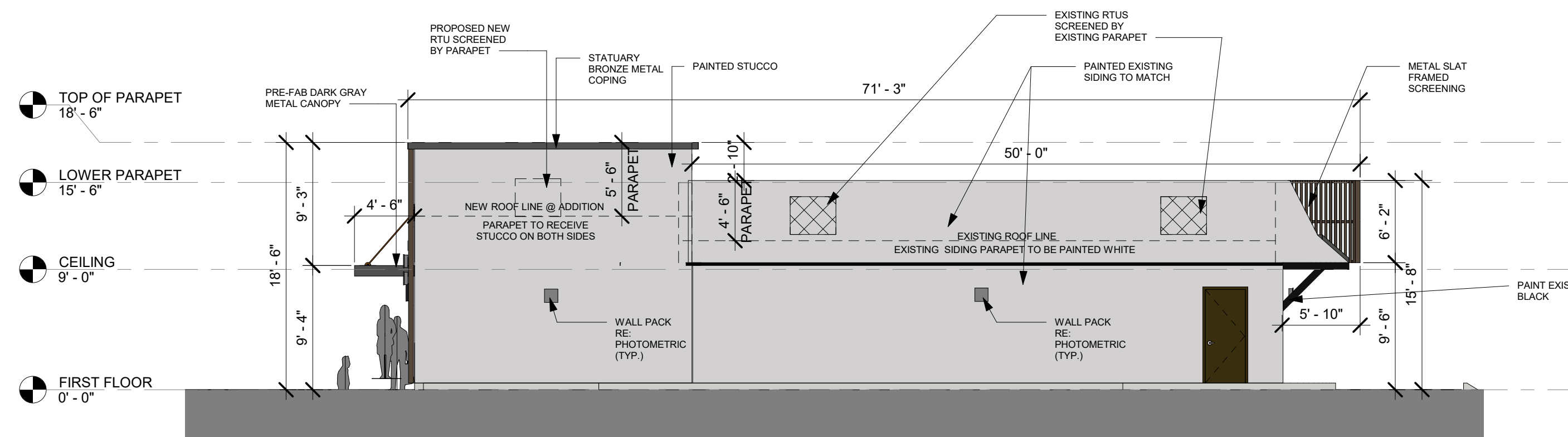
FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.
TEXAS P.E. No. 130104
ISSUED THIS DATE:
04/16/2021

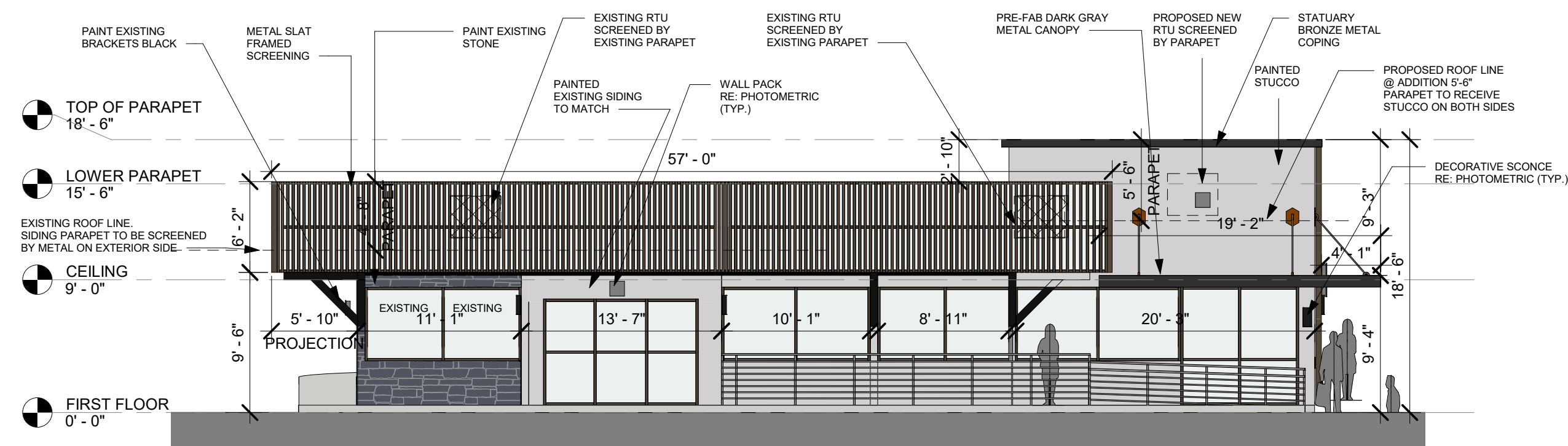
PROJ. MGR.: JC
PROJ. ASSOC.: AR
DRAWN BY: ANV
DATE: 04/16/2021

SHEET
1

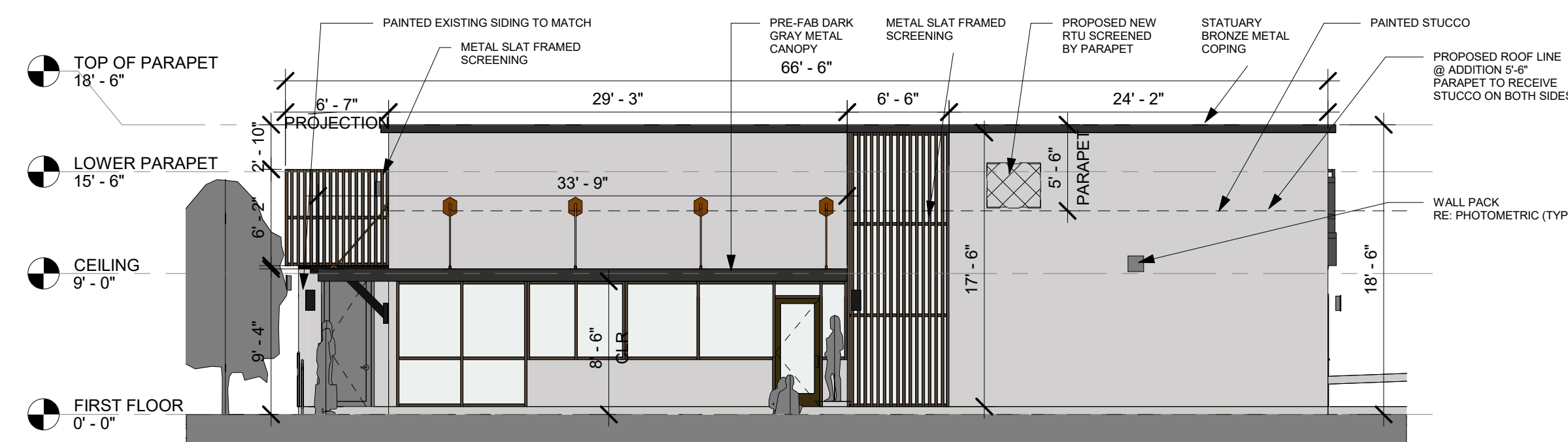
PENDING



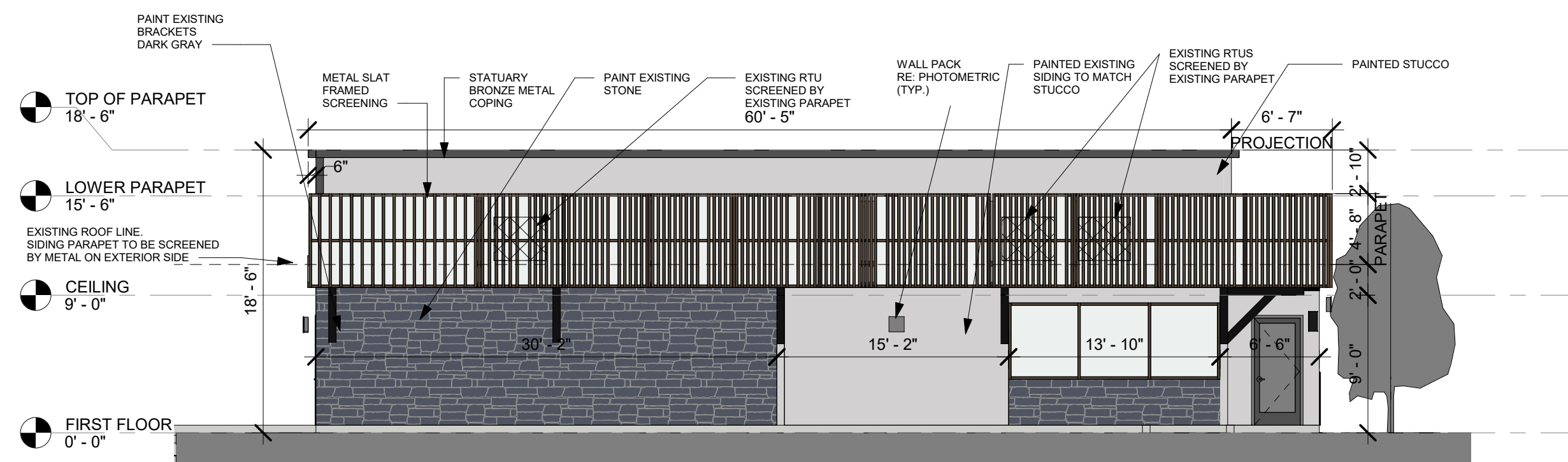
EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0" 4



EXTERIOR ELEVATION - NORTH
FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0" 3



EXTERIOR ELEVATION - WEST
1/8" = 1'-0" 2



EXTERIOR ELEVATION - EAST
FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0" 1

SOUTH ELEVATION-SECONDARY FACADE

NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%

NORTH ELEVATION-PRIMARY FACADE

NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%

WEST ELEVATION-SECONDARY FACADE

NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%

EAST ELEVATION-PRIMARY FACADE

NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

MATERIAL INDEX

	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: WALNUT FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE

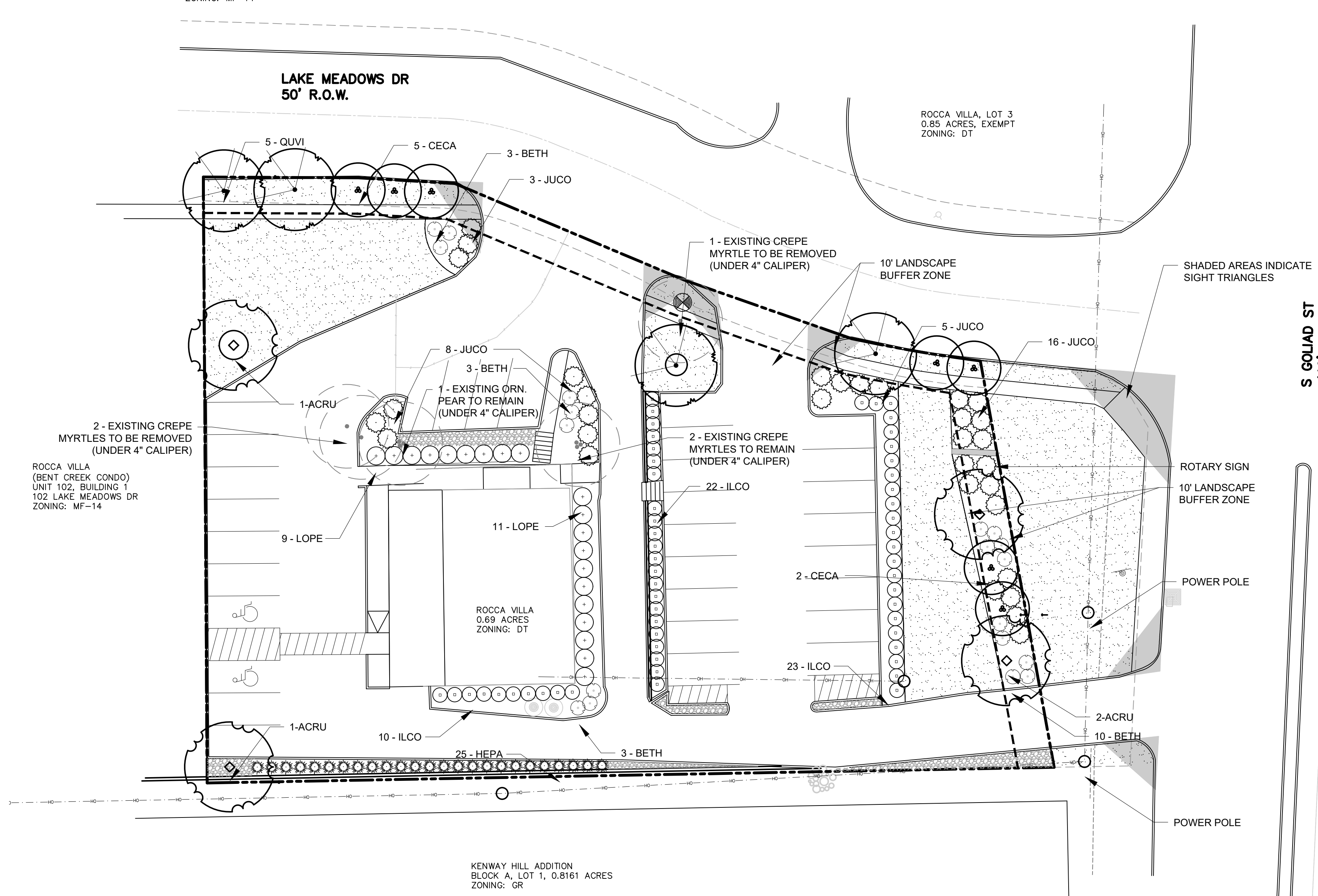
GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROCCA VILLA
(BENT CREEK CONDO)
UNIT 101, BUILDING 1
101 LAKE MEADOWS DR
ZONING: MF-14

LAKE MEADOWS DR
50' R.O.W.

ROCCA VILLA, LOT 3
0.85 ACRES, EXEMPT
ZONING: DT



ROCCA VILLA
(BENT CREEK CONDO)
UNIT 102, BUILDING 1
102 LAKE MEADOWS DR
ZONING: MF-14

KENWAY HILL ADDITION
BLOCK A, LOT 1, 0.8161 ACRES
ZONING: GR

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	7	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	4	CANOPY TREE

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

SHRUBS					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	19	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFORD HOLLY	5 gallon	55	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	32	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	20	

TURF AND SEED					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep, Lay over permeable landscape fabric				

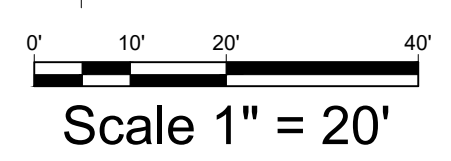
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

- 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
2 CANOPY TREES, 2 ACCENT TREES REQUIRED
2 MAPLE (CANOPY), 2 REDBUD (ACCENT) PROVIDED
- S. GOLIAD ST. - ±116' STREET FRONTAGE:**
5 CANOPY TREES, 5 ACCENT TREES REQUIRED
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS
- LAKE MEADOWS DR. ±225' STREET FRONTAGE:**
5 CANOPY TREES, 5 ACCENT TREES REQUIRED
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS
- 05.02 LANDSCAPE SCREENING**
REQ. HEADLIGHT SCREENING: HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
HOLLY SHRUBS PLANTED ALONG PARKING SPACES
- PROVIDED SCREENING**
- 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**
TOTAL SITE AREA: ±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE: ±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE: ±10,769 SF (30%)
- LOCATION OF LANDSCAPING:**
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS**
ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS**
NONE PROPOSED
- PARKING LOT LANDSCAPING**
MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
- PROPOSED PARKING AREA:** ±11,824 SF
REQ. PARKING LOT LANDSCAPING: ±591 SF (6.3%)
PROPOSED PARKING LOT LANDSCAPING: ±750 SF (6.3%)
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

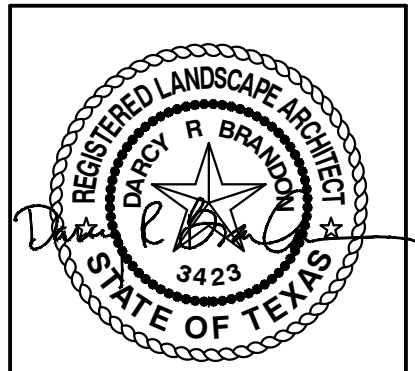
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



05/05/2021

Owner
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Project Name
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Landscape Planting Plan

Date	Comment

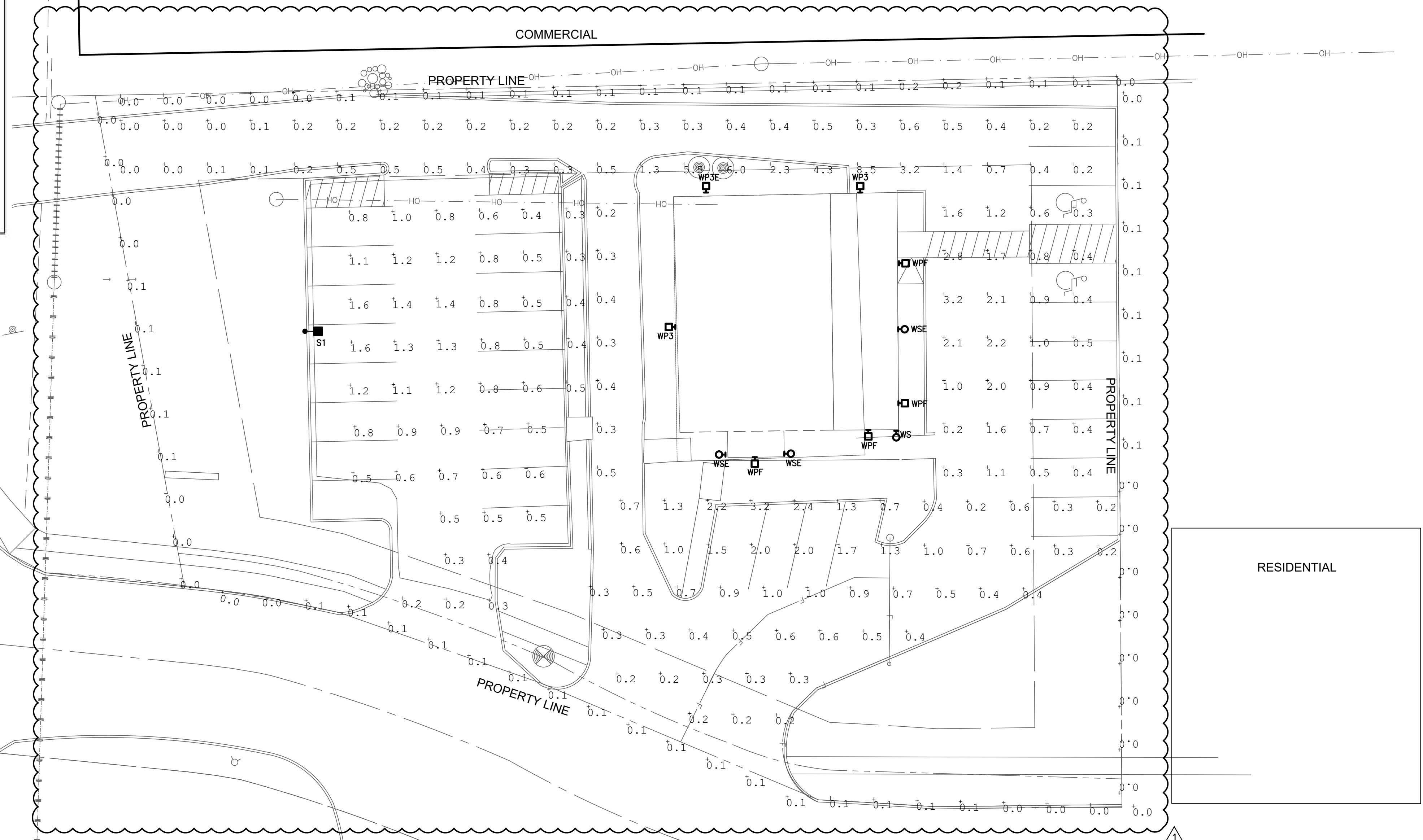
Project Number	SP2021-013
Date	05/05/2021
Drawn By	DB
Checked By	DB/RM

LP-1

SITE DATA TABLE

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF
	15 STANDARD STALLS
	1 ACCESSIBLE STALLS
PARKING PROVIDED	29 STANDARD SPACES
	2 ACCESSIBLE SPACES
NOTE: PROPERTY IS CURRENTLY PLATTED	

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
				NO.					
				K	L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	38V 3327L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69V 5688L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516	1	21W 1047L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	WSE-PROVIDE 90 MIN EM INVERTER DSX1 LED P1 40K TFM MVOLT NLTAIR2 HS SSS20-4C-DM 19-D8LXD	1	54W 6963L	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS					
AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

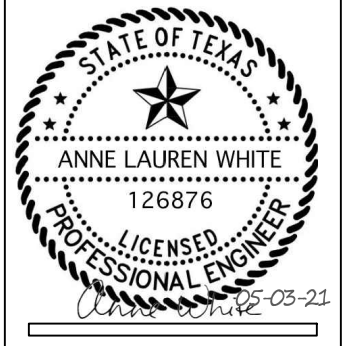
1 SITE PLAN - PHOTOMETRIC
SCALE: 1/16" = 1'-0"

SITE PLAN SIGNATURE BLOCK
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 Planning & Zoning Commission, Chairman Director of Planning and Zoning

SIMS ENGINEERING, LLC
 11700 EASTON ROAD, SUITE 600 #154
 DALLAS, TEXAS 75220 | 214.255.5371
 WWW.SIMS-ENG.COM | REG. # 10374

METHOD architecture
 1919 MCKINNEY AVE., SUITE 2011
 DALLAS, TEXAS 75201
 (469) 640-6331



ROTARY CLUB
 ROCKWALL
 488 S GOLIAD ST.
 ROCKWALL, TX 75087
 PM: _____ DR: _____
 PROJECT: MB205016
 SHEET: E1.02
 SITE PLAN PHOTOMETRIC
 SP2021-013



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Humberto Johnson; *Skorburg Co.*
CASE NUMBER: P2021-019; *Final Plat for Phase 2 of the Gideon Grove Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of John Arnold of Gideon Grove Addition, LTD for the approval of a Final Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 30.36-acre tract of land (*i.e. a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13*) for the purpose of establishing 84 single-family residential lots, which will be known as the Gideon Grove, Phase 2 Subdivision. This is the final phase of a two (2) phase subdivision plan that consists of two (2) planned development districts (*i.e. Planned Development District 77 [PD-77] and Planned Development District 84 [PD-84]*).
- On May 1, 2017, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to Planned Development District 84 (PD-84) [*Ordinance No. 17-25; Case No. Z2017-007*] for Single-Family 7 (SF-7) District land uses. On November 17, 2020, the City Council approved a *preliminary plat* [*Case No. P2020-046*] for the subject property. The proposed final plat conforms to this *preliminary plat*.
- On May 4, 2021, the Parks and Recreation Board reviewed the final plat and made the following recommendations concerning the proposed subdivision that is located within Park District No. 5:
 - (1) The developer shall pay pro-rata equipment fees of \$41,076.00 (*i.e. \$489.00 x 84 lots*), which will be due at the time of final plat.
 - (2) The developer shall pay cash-in-lieu of land fees of \$43,344.00 (*i.e. \$516.00 x 84 lots*), which will be due at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat for Phase 2 of the Gideon Grove Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

Subdivision **Gideon, Phase 2** Lot Block

General Location ALONG THE SOUTH SIDE OF JOHN KING BLVD, NEAR THE INTERSECTION WITH E. QUAIL RUN ROAD.N WITH E. QUAIL RUN ROAD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **ORD. NO. 17-25, PD-84**

Current Use **VACANT / AGRICULTURAL**

Proposed Zoning **ORD. NO. 17-25, PD-84**

Proposed Use **SINGLE-FAMILY RESIDENTIAL**

Acreage **30.060 AC** Lots [Current] **1** Lots [Proposed] **84**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Gideon Grove Addition 2, Ltd., a Texas Limited Partnership
By: Gideon Grove Addition 2 GP Corporation, a Texas Corporation, its General Partner

Applicant **Skorburg Company**

Contact Person **John Arnold**

Contact Person **Humberto Johnson, Jr.**

Address **8214 Westchester Drive,
Suite 900**

Address **8214 Westchester Drive,
Suite 900**

City, State & Zip **Dallas, TX 75225**

City, State & Zip **Dallas, TX 75225**

Phone **214-522-4945**

Phone **214-888-8857**

E-Mail **jarnold@skorburgcompany.com**

E-Mail **jrjohnson@skorburgcompany.com**

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Arnold [Owner] the undersigned, who stated the information on this application to be true and certified the following:

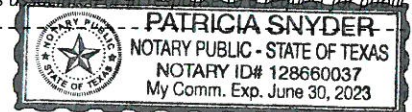
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 401.20, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of April, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated in any manner to a request for public information."

Given under my hand and seal of office on this the 15 day of April, 20 21.

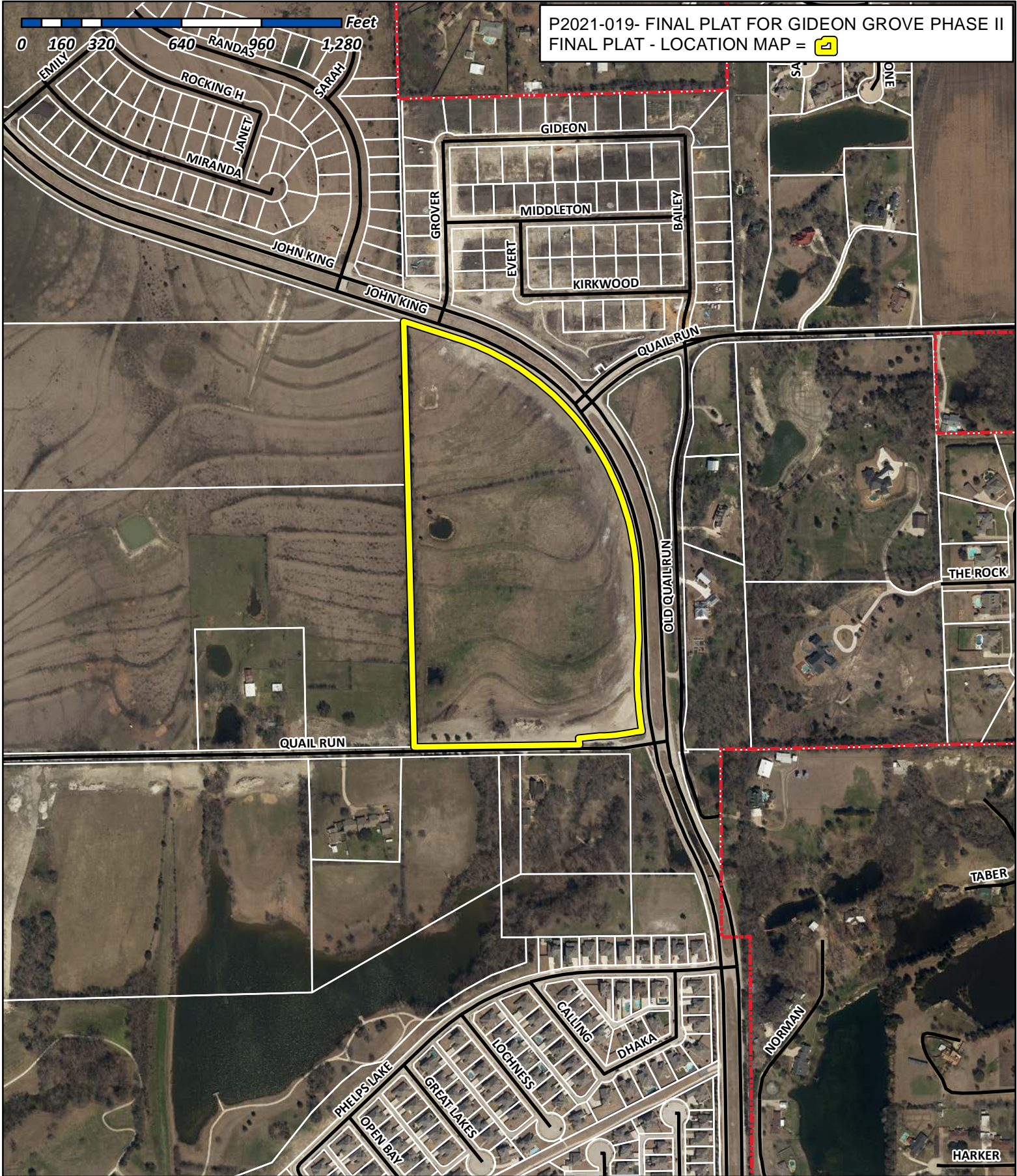
Owner's Signature


Notary Public in and for the State of Texas

Patricia Snyder



My Commission Expires 6/30/2023



P2021-019- FINAL PLAT FOR GIDEON GROVE PHASE II
 FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

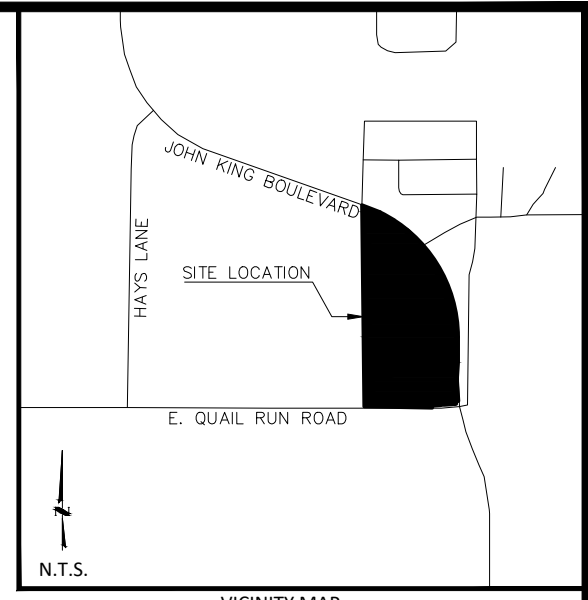


POINT OF BEGINNING
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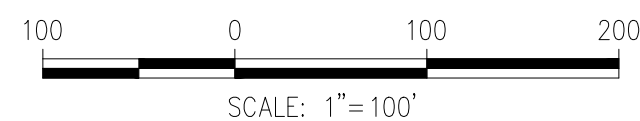
GIDEON GROVE
PHASE 1
PACESETER HOMES LLC
29.99 ACRES

N. JOHN KING BLVD.
(A VARIABLE WIDTH RIGHT-OF-WAY)

EAST QUAIL RUN ROAD



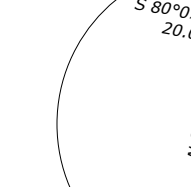
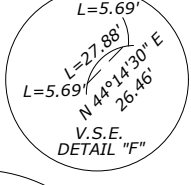
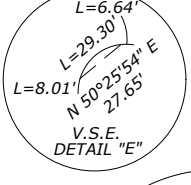
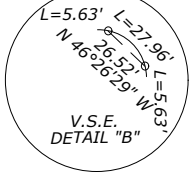
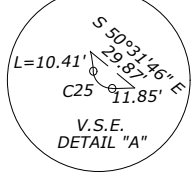
CITY OF ROCKWALL
VOL. 5951, PG. 84
O.P.R.R.C.T.



HERMAN UTLEY
CALLED 2.172 ACRE TRACT
VOLUME 4664, PAGE 273
D.R.R.C.T.

LOT 1, BLOCK A
D.R. TAYLOR ADDITION
E-317
O.P.R.R.C.T.

TRACT 1
CALLED 28.2 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99



TRACT 2
CALLED 44.3 ACRES
SAVE AND EXCEPT 5 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99

QUAIL RUN ROAD

MICHAEL WURSTER AND JENNIFER WURSTER
DOC. NO. 2020000003578
O.P.R.R.C.T.

PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.

OWNER
GIDEON GROVE ADDITION 2 GP CORP.
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: JOHN ARNOLD

DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, STE 710
DALLAS, TX 75225
(214) 522-4945
CONTACT: HUMBERTO JOHNSON, JR.

ENGINEER
PAPE-DAWSON ENGINEERS, INC.
6500 WEST FREEWAY, STE 700
FORT WORTH, TX 76116

SURVEYOR
PIERCE-MURRAY LAND SOLUTIONS, LLC
800 TALLYHO CIR.
TYLER, TX 75703

PIERCE-MURRAY
LAND SOLUTIONS
Engineering Surveying

800 TALLYHO CIRCLE
TYLER, TEXAS 75703
(817) 239-5646
(903) 539-2256
TBPELS FIRM REGISTRATION NO. 10194437

FINAL PLAT
GIDEON GROVE PHASE 2

LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THIS PLAT IS RECORDED IN DOCUMENT NUMBER _____, DATE: _____ SHEET 1 OF 2 CASE NO. P2021-019

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS GIDEON GROVE ADDITION 2 GP CORP., BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, ROCKWALL COUNTY, TEXAS AND BEING ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED BY DEED TO GIDEON GROVE ADDITION 2, LTD. AS RECORDED IN INSTRUMENT NUMBER 2017000008390, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET AT THE NORTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE SOUTH RIGHT-OF-WAY OF N. JOHN KING BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A 3/8" IRON ROD FOUND BEARS N 01°29'44" W, A DISTANCE OF 888.49 FEET MARKING THE NORTHWEST CORNER OF THAT CERTAIN 80 ACRE TRACT DESCRIBED BY DEED TO LONNIE L. GIDEON AS RECORDED IN VOLUME 307, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE THE FOLLOWING COURSES AND DISTANCES ALONG THE SOUTHERLY AND WESTERLY RIGHT-OF-WAY OF SAID N. JOHN KING BOULEVARD COMMON WITH THE NORTHERLY AND EASTERLY LINE OF SAID GIDEON GROVE ADDITION 2 TRACT;

S 72°05'05" E, A DISTANCE OF 221.92' TO A 5/8" IRON ROD WITH CAP STAMPED "SERVCO" FOUND, BEING THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 1274.04', A RADIUS OF 1040.00', WITH A CHORD BEARING WHICH BEARS S 36°59'23" E, 1195.86';

S 01°53'42" E, A DISTANCE OF 243.24' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 02°35'19" W, A DISTANCE OF 140.71' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 01°53'42" E, A DISTANCE OF 41.83' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET FOR THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, AN ARC LENGTH OF 191.03', A RADIUS OF 1571.00', WITH A CHORD WHICH BEARS S 05°22'42" E, 190.91' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 81°07'57" W, A DISTANCE OF 25.65' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 10°46'56" E, A DISTANCE OF 26.00' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 79°13'04" W, A DISTANCE OF 17.32' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 131.03', A RADIUS OF 742.50', WITH A CHORD WHICH BEARS S 84°16'24" W, WITH A CHORD LENGTH OF 130.86';

S 83°34'16" W, A DISTANCE OF 82.52' TO A 1/2" IRON ROD WITH YELLOW CAP STAMPED "PIERCE-MURRAY" SET;

S 00°48'09" W, A DISTANCE OF 19.00' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHERLY MOST SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT AND BEING IN THE APPROXIMATE CENTER OF QUAIL RUN ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE DEPARTING SAID COMMON LINE AND ALONG THE SOUTH PROPERTY LINE OF SAID GIDEON GROVE ADDITION 2 AND THE APPROXIMATE CENTERLINE OF SAID QUAIL RUN ROAD S 89°12'52" W, A DISTANCE OF 656.77' TO AN X-CUT SET IN CONCRETE FOR THE SOUTHWEST CORNER OF SAID GIDEON GROVE ADDITION 2 TRACT;

THENCE N 01°29'44" W, ALONG THE EAST LINE OF SAID GIDEON GROVE ADDITION 2 TRACT AND THE WEST LINE OF THOSE CERTAIN TRACTS OF LAND DESCRIBED AS TRACT 1 AND TRACT 2 AS DESCRIBED BY DEED TO R & R INVESTMENTS, L.P., AS RECORDED IN VOLUME 5702, PAGE 99, DEED RECORDS, ROCKWALL COUNTY, TEXAS, A DISTANCE OF 1722.62 FEET TO THE POINT OF BEGINNING, CONTAINING 30.060 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE GIDEON GROVE PHASE 2 SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I (WE) FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN THE GIDEON GROVE PHASE 2 SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT. I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I (WE) ALSO UNDERSTAND THE FOLLOWING;

- 1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL.
7. ALL NON-STANDARD, DECORATIVE SIGNS POLE/POST, HARDWARE OR OTHER NON-STANDARD ITEMS WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE HOME OWNERS ASSOCIATION.
8. LOT 4X, BLOCK A; LOT 1X, BLOCK B; LOT 3X, BLOCK B; LOT 1X, BLOCK C; LOT 18X, BLOCK C; LOT 23X, BLOCK C; LOT 27X, BLOCK C; LOT 28X, BLOCK C; LOT 1X, BLOCK D; LOT 14X, BLOCK D; LOT 1X, BLOCK E; LOT 6X, BLOCK E; AND ALL OPEN SPACE LOTS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OR EXACTIONS MADE HEREIN.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE:]

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GIDEON GROVE ADDITION 2 GP CORP., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Planning & Zoning Commission, Chairman Date
APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of 2021.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.
WITNESS OUR HANDS, this day of 2021.
MAYOR, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

Table with columns: LINE, BEARING, DISTANCE. Rows L1 through L37.

Table with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows C1 through C29.

GENERAL NOTES

- 1. BEARINGS BASED ON TEXAS COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202, VIA THE ALLTERRA RTKNET VRS NETWORK.
2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
3. THE SUBJECT PROPERTY IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397C0030L, DATED SEPTEMBER 26, 2008.

SURVEYOR'S CERTIFICATION

I, CAMDEN D. PIERCE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS "SET" WERE PROPERLY PLACED UNDER MY DIRECTION AND SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

CAMDEN D. PIERCE, RPLS 6791
DATE: JANUARY 2021

FINAL PLAT
GIDEON GROVE PHASE 2
LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26, 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E; BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT NUMBER 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Randall Eardley; *Weir & Associates, Inc.*
CASE NUMBER: P2021-020; *Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition*

SUMMARY

Discuss and consider a request by Randall Eardley of Weir & Associates, Inc. on behalf of Stephen Doyle of Structured REA-Rockwall Land, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Fit Sport Life Addition being a 55.784-acre tract of land identified as a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and FM-549 Overlay (FM-549 OV) Districts, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to preliminary plat a 55.784-acre tract of land (*i.e. a portion of Tract 22 and all of Tracts 22-2 & 24 of the R. Irvine Survey, Abstract No. 120*) into six (6) lots (*i.e. Lots 1-6, Block A, Fit Sport Life Addition*) for the purpose of laying out the proposed subdivision of land and the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subject property. Additionally, the applicant will be dedicating 60-feet of right-of-way for the purpose of establishing ingress and egress from Corporate Crossing and the IH-30 Frontage Road; however, Lot 5, Block A, will only be accessible via Capital Boulevard and the extension of Data Drive. It should be noted that the applicant has submitted a site plan [*i.e. Case No. SP2021-010*] concurrently with this preliminary plat. The purpose of the site plan is to facilitate the construction of a ~87,155 SF sports and recreation facility on Lot 1, Block A.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development proposed with *Case No. SP2021-010*, to ensure compliance with the density and dimensional requirement stipulated for the Commercial (C) District by the Unified Development Code (UDC), to ensure conformance with the OURHometown Vision 2040 Comprehensive Plan and the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet these requirements and the intent of these documents.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Lots 1-6, Block A, Fit Sport Life Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ **55.784 acres**
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION **Southeast corner of IH 30 and Corporate Crossing**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial C**

CURRENT USE **Vacant**

PROPOSED ZONING **N/A**

PROPOSED USE **Sports Complex**

ACREAGE **55.784 total**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **6**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Structured REA-Rockwall Land, LLC**

APPLICANT **Wier & Associates, Inc.**

CONTACT PERSON **Stephen Doyle**

CONTACT PERSON **Randall Eardley**

ADDRESS **171 N Aberdeen Street, Suite 400**

ADDRESS **2201 E. Lamar Blvd, Ste 200E**

CITY, STATE & ZIP **Chicago, Illinois 60607**

CITY, STATE & ZIP **Arlington, Texas 76006**

PHONE **847-951-8974**

PHONE **817-467-7700**

E-MAIL **SteveD@structuredrea.com**

E-MAIL **RandyE@WierAssociates.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Doyle [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,036.76 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

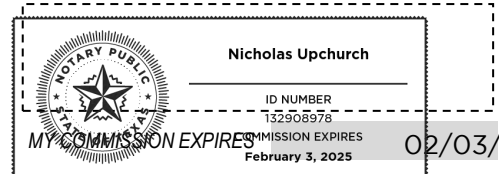
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 20 21.

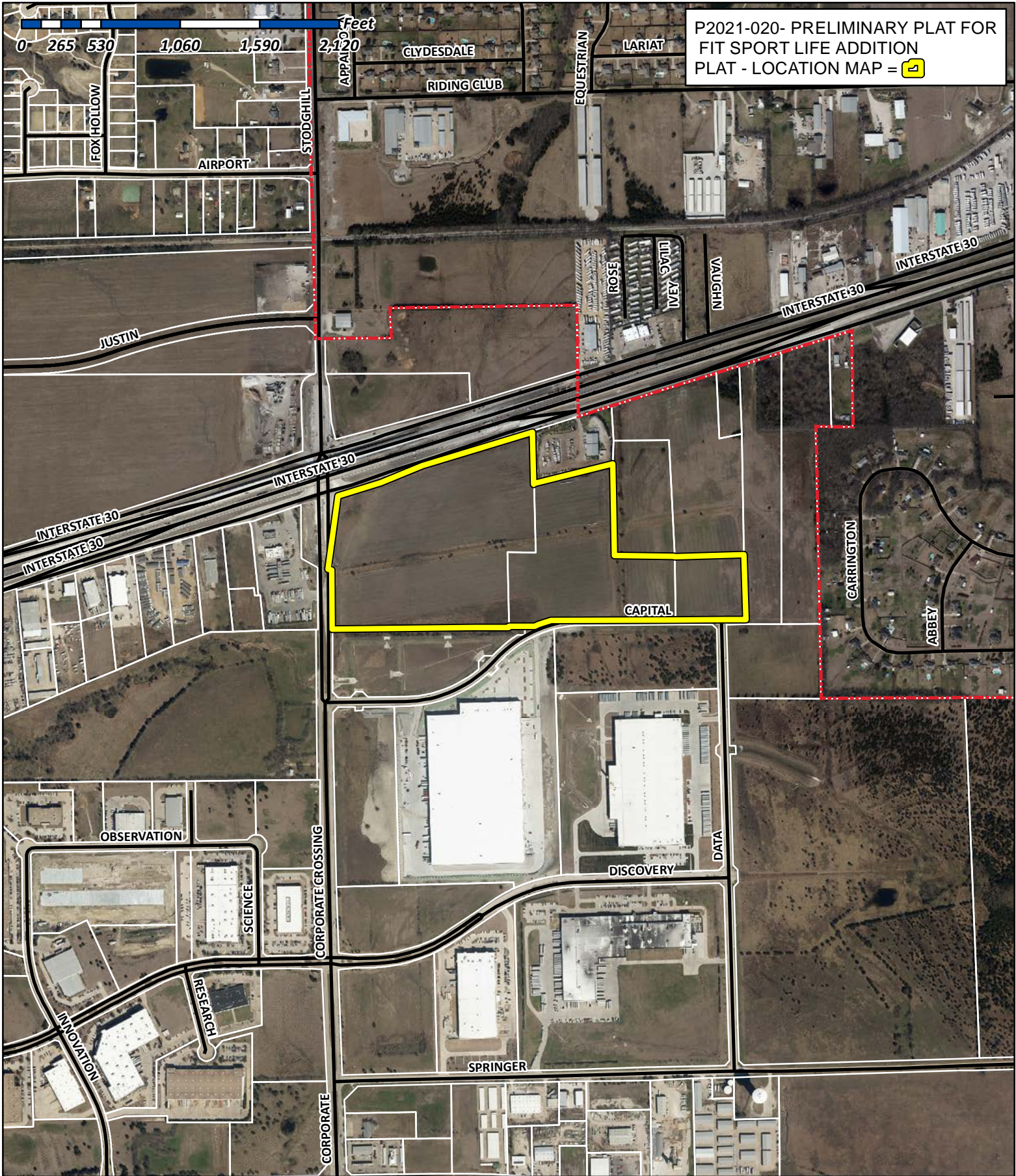
OWNER'S SIGNATURE


Stephen Doyle

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Nicholas Upchurch





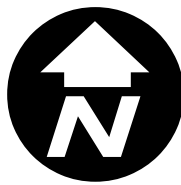
P2021-020- PRELIMINARY PLAT FOR
 FIT SPORT LIFE ADDITION
 PLAT - LOCATION MAP = 



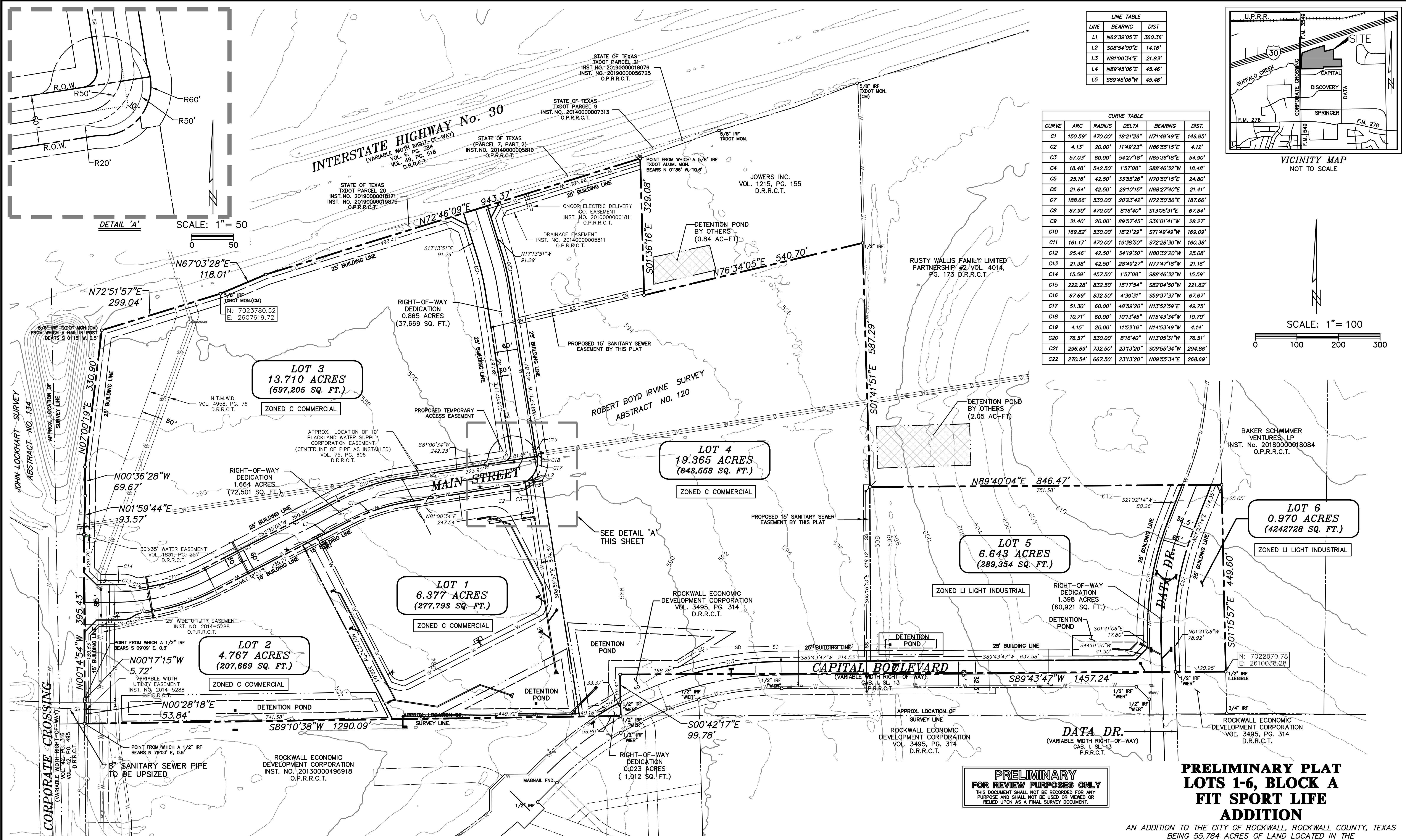
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

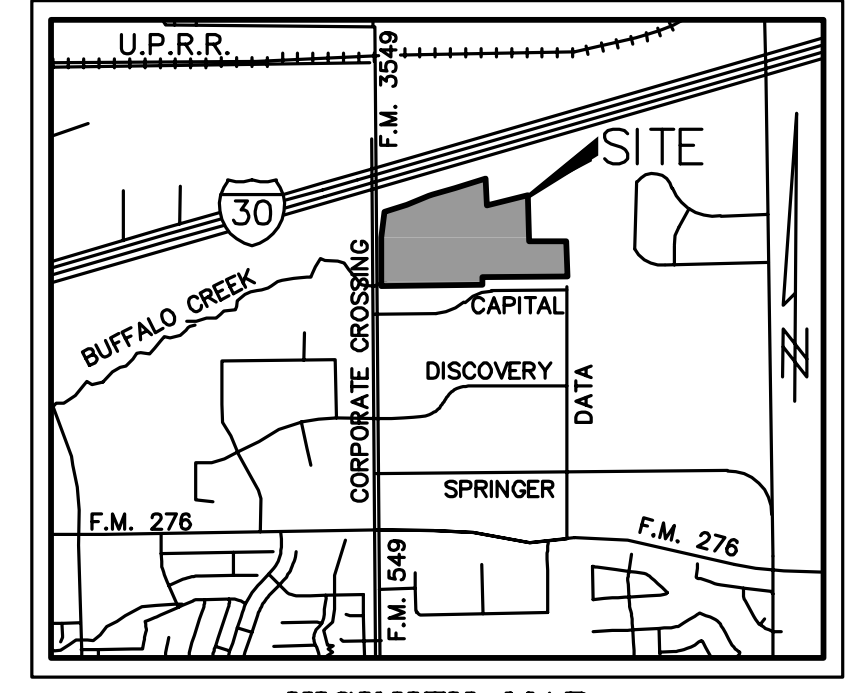


PRINTED: 5/4/2021 9:59 AM FILE: WIER-SURVEY.STB LAST SAVED: 5/4/2021 9:59 AM SAVED BY: RANDY FILE: PRELIMINARYPLAT-19144.DWG



LINE	BEARING	DIST
L1	N62°39'05"E	360.36'
L2	S08°54'00"E	14.16'
L3	N81°00'34"E	21.83'
L4	N89°45'06"E	45.46'
L5	S89°45'06"W	45.46'

CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	150.59'	470.00'	18°21'29"	N71°49'49"E	149.95'
C2	4.13'	20.00'	11°49'23"	N86°55'15"E	4.12'
C3	57.03'	60.00'	54°27'18"	N65°36'18"E	54.90'
C4	18.48'	542.50'	1°57'08"	S88°46'32"W	18.48'
C5	25.16'	42.50'	33°55'26"	N70°50'15"E	24.80'
C6	21.64'	42.50'	29°10'15"	N68°27'40"E	21.41'
C7	188.66'	530.00'	20°23'42"	N72°50'56"E	187.66'
C8	67.90'	470.00'	8°16'40"	S13°05'31"E	67.84'
C9	31.40'	20.00'	89°57'45"	S36°01'41"W	28.27'
C10	169.82'	530.00'	18°21'29"	S71°49'49"W	169.09'
C11	161.17'	470.00'	19°38'50"	S72°28'30"W	160.38'
C12	25.46'	42.50'	34°19'30"	N80°32'20"W	25.08'
C13	21.38'	42.50'	28°49'27"	N77°47'18"W	21.16'
C14	15.59'	457.50'	1°57'08"	S88°46'32"W	15.59'
C15	222.28'	832.50'	15°17'54"	S82°04'50"W	221.62'
C16	67.69'	832.50'	4°39'31"	S89°37'37"W	67.67'
C17	51.30'	60.00'	48°59'20"	N13°52'59"E	49.75'
C18	10.71'	60.00'	10°13'45"	N15°43'34"W	10.70'
C19	4.15'	20.00'	11°53'16"	N14°53'49"W	4.14'
C20	76.57'	530.00'	8°16'40"	N13°05'31"W	76.51'
C21	296.89'	732.50'	23°13'20"	S09°55'34"W	294.86'
C22	270.54'	667.50'	23°13'20"	N09°55'34"E	268.69'



LOT 3
13.710 ACRES
(597,205 SQ. FT.)
ZONED C COMMERCIAL

LOT 4
19.365 ACRES
(843,558 SQ. FT.)
ZONED C COMMERCIAL

LOT 1
6.377 ACRES
(277,793 SQ. FT.)
ZONED C COMMERCIAL

LOT 2
4.767 ACRES
(207,669 SQ. FT.)
ZONED C COMMERCIAL

LOT 5
6.643 ACRES
(289,354 SQ. FT.)
ZONED LI LIGHT INDUSTRIAL

LOT 6
0.970 ACRES
(424,278 SQ. FT.)
ZONED LI LIGHT INDUSTRIAL

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PRELIMINARY PLAT
LOTS 1-6, BLOCK A
FIT SPORT LIFE
ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BEING 55.784 ACRES OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT No. 120, ROCKWALL COUNTY, TEXAS

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2716 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

2021-020
SHEET 1 OF 1
DATE: 5/4/2021
W.A. No. 19144

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.
WITNESS OUR HANDS, THIS ___ OF _____.
PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

OWNER / DEVELOPER
Structured REA-Rockwall Land, LLC
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, ILLINOIS 60607
CONTACT: STEPHEN DOYLE
PH: (847) 951-8974

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: RANDY EARDLEY, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Lance Tyler
CASE NUMBER: Z2021-008; *Specific Use Permit (SUP) for a Residential Infill for 550 E. Quail Run Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision, an Accessory Building, and a Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home, accessory building, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on July 2, 1973 by *Ordinance No. 73-23 [Case No. 1973-001]*; However, according to the January 3, 1972 zoning map the subject property had already been annexed and was zoned Single Family 1 (SF-1) District. On September 4, 1973, the subject property was rezoned from a Single-Family 1 (SF-1) District to Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses [*Ordinance No. 73-31*]. According to the Rockwall Central Appraisal District (RCAD) a 5,206 SF single-family home was constructed on the property in 1978. On May 18, 1987, Planned Development District 5 (PD-5) was amended by *Ordinance No. 87-23*; however, the subject property remained designated for Single-Family 1 (SF-1) District land uses. On March 4, 2020, a demolition building permit [*BLD2020-0492*] was issued to allow the demolition of the existing single-family home. The subject property is currently vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). In addition, the applicant is also requesting a Specific Use Permit (SUP) for a guest quarters/secondary living unit that exceeds 30% of the primary structure, and for an accessory building that exceeds the maximum permissible size.

ADJACENT LAND USES AND ACCESS

The subject property is located at 550 E. Quail Run Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Quail Run Road, which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 67.50-acre tract of vacant land (*i.e. Tract 2-05 of the P. B. Harrison Survey, Abstract No. 97*), which is zoned Agricultural (AG) District. Beyond this is N. John King Boulevard, which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 106.866-acre tract of land (*i.e. Tract 14-1 of the S. S. McCurry Survey, Abstract No. 146*), which is currently being utilized for open space/public park land (*i.e. Phelps Lake Park*). Beyond this Phelps Lake Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on

the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. South of this roadway are Phase 8A & 8B of the Caruth Lakes Subdivision. These phases of the subdivision consist of 132 residential lots on 47.764-acres of land, zoned Planned Development District 5 (PD-5) for Single Family 8.4 (SF-8.4) District land uses.

East: Directly east of the subject property is one (1) vacant tract of land (i.e. Tract 19-3 of the S. S. McCurry Survey, Abstract No. 146) followed by a five (5) acre parcel of land (i.e. Lot 1, Block A, Promise Land Addition) with a 3,257 SF single-family home constructed on it. These properties are zoned Planned Development District 5 (PD-5) for Single Family 8.4 (SF-8.4) District land uses and Single-Family 10 (SF-10) District. Beyond this is N. John King Boulevard, which is designated as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a vacant 38.64-acre tract of land (i.e. Tract 22 of the S. S. McCurry Survey, Abstract No. 146) zoned for Agricultural (AG) District. Beyond this is the Quail Run Valley No. 2 Addition, which consists of 129 residential lots on 40.01-acres. This subdivision is zoned Planned Development District 5 (PD-5) for Single Family 8.4 (SF-8.8) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the Caruth Lakes Subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

According to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on E. Quail Run Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E. Quail Run Road and the Subject Property	Proposed Housing
Building Height	One (1) to Two (2) Stories	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south-west towards Marcie Lane.
Year Built	1975-1988	N/A
Building SF on Property	2,236 SF – 3,257 SF	6,665 SF
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Greater than 20-Feet	Greater than 20-Feet
Side	Greater than 6-Feet	Greater than 6-Feet
Rear	Greater than 10-Feet	Greater than 10-Feet
Building Materials	Brick	Siding & Stone
Paint and Color	Red & Brown	Not Specified by Applicant
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	J-Swing and Detached Garage	J-Swing

In this case, the proposed single-family home meets all of the density and dimensional requirements for a property in a Single-Family 8.4 (SF-8.4) District as stipulated by Planned Development District 5 (PD-5) and the Unified Development Code (UDC); however, the site plan submitted by the applicant indicates that the proposed development will incorporate one (1) detached garage at 410 SF, and one (1) accessory building (*i.e. Cabana*) at 619 SF. According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 8.4 (SF-8.4) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. This means that the proposed accessory building exceeds the maximum allowable size by 475 SF. In addition, the code states that “(d)etached garages accessible from the front shall be a minimum of 20-feet behind the front façade of the primary structure.” Based on the plans submitted by the applicant, the proposed detached garage will be setback even with the front façade of the primary structure. Subsection 07.04 goes on to state that, “(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP).” Since the applicant is already requesting a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, the size of the accessory structure (*i.e. cabana*) and the setback of the garage have been included in this Specific Use Permit (SUP) request.

In addition, according to Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a guest quarters/secondary living unit shall meet the following requirements: “(a) *Guest Quarters or Secondary Living Units* may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home ... (b) (t)he area of such quarters shall not exceed 30% of the area of the main structure ... (c) (n)o such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance ... [and] (d) *Guest Quarters or Secondary Living Units* not meeting the requirements stated above shall require a Specific Use Permit (SUP).” In this case, the applicant is proposing a 3,150 SF guest quarters/secondary living unit. Based on the square footage of the primary structure (*i.e. 4,999 SF*) the applicant would be permitted to have up to a 1,499.70 SF guest quarters/secondary living unit. The applicant’s proposed guest quarters/secondary living unit would exceed this by 1,650.30 SF. As stated above, the code limits properties to two (2) accessory structures, and in this case the applicant is proposing a total of three (3) accessory structures (*i.e. detached garage, cabana, and guest quarters/secondary living unit*). As with the detached garage and accessory building, the guest quarters/secondary living unit has been added to the Specific Use Permit (SUP) request.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Quail Run Road and the proposed building elevations for all of the proposed structures in the attached packet. To summarize the applicant’s request, the proposed Specific Use Permit (SUP) is requesting the following: [1] a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, [2] a Specific Use Permit (SUP) for an accessory building that exceeds the maximum allowable size, [3] a Specific Use Permit (SUP) for a guest quarters/secondary living unit that exceeds 30% of the primary structures square footage, and [4] a waiver to the setback of the proposed detached garage. As with any Specific Use Permit (SUP) request, the approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed will not have a negative impact on the existing subdivision or adjacent properties.

NOTIFICATIONS

On April 26, 2021, staff mailed 22 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Quail Run Valley and the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Associations (HOAs), which are the only HOA’s/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had not received any notices regarding the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, an accessory building that exceeds the maximum size, and a guest quarters/secondary living unit that exceeds 30% of the primary structure then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) The construction of the guest quarters/secondary living unit on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'D'* of the draft ordinance.
 - (d) The construction of an accessory structure on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'E'* of the draft ordinance.
 - (e) The accessory structure shall not exceed a maximum size of 620 SF.
 - (f) The guest quarters/secondary living unit shall not exceed a maximum size of 3,150 SF.
 - (g) The subject property shall be limited to three (3) accessory structures (*i.e. a detached garage, accessory building, and guest quarters/secondary living unit*) as depicted in *Exhibit 'B'* of the draft ordinance.
 - (h) The guest quarters/secondary living unit may be conveyed as a separate housing unit if the property is subdivided -- in accordance with the Unified Development Code (UDC) and Planned Development District 5 (PD-5) -- prior to conveyance; however, should the guest quarters/secondary living unit be modified to not meet the zoning requirements for a single-family home -- prior to the subdivision of land --, the guest quarters/secondary living unit may not be conveyed separately from the primary structure.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE) †
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
 FINAL PLAT (\$300.00 + \$20.00 ACRE) †
 REPLAT (\$300.00 + \$20.00 ACRE) †
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE) †
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00)
 VARIANCE REQUEST (\$100.00)
NOTES:
†: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 550 East Quail Run
SUBDIVISION: A0146 SS McCurdy Tract 19-2
GENERAL LOCATION: Between John King / 205
LOT: _____ BLOCK: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: Residential
PROPOSED ZONING: _____ PROPOSED USE: Residential
ACREAGE: 8.00 LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

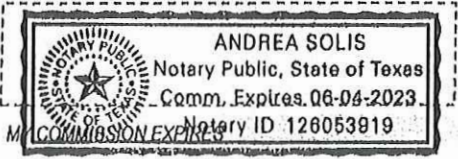
OWNER: Mike Wurster
 APPLICANT: Lance Tyler
CONTACT PERSON: _____ CONTACT PERSON: _____
ADDRESS: 1309 Moraine Place ADDRESS: 8989 Garland Rd
CITY, STATE & ZIP: Heath Tx 75032 CITY, STATE & ZIP: Dallas Tx 75218
PHONE: 214-403-7698 PHONE: 214-991-7983
E-MAIL: mwurster@Elementsgrp.com E-MAIL: Lance@BelleVistaCompany.com

NOTARY VERIFICATION [REQUIRED]


BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Wurster [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

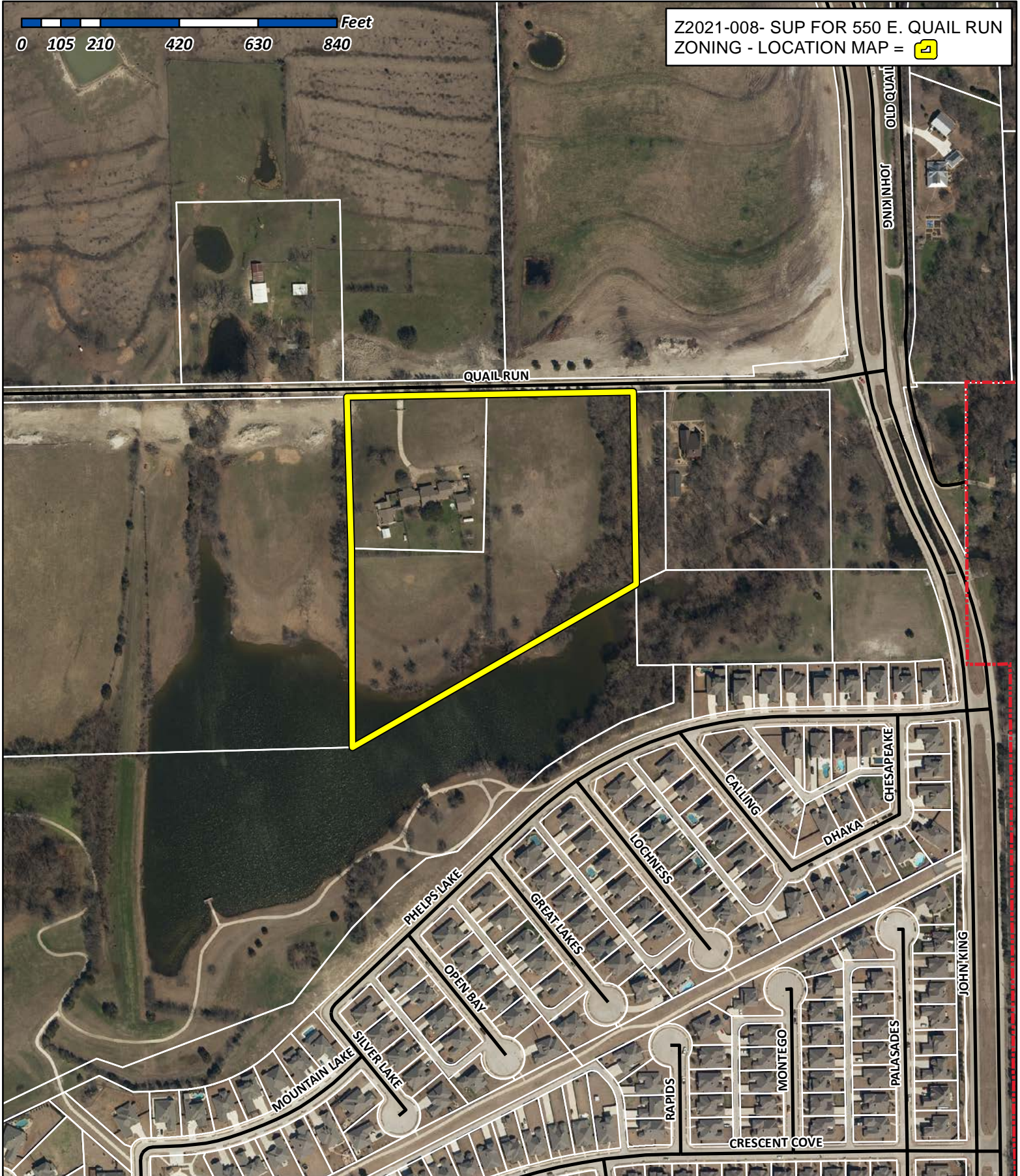
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 410.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF April, 2021
OWNER'S SIGNATURE: Mike Wurster



0 105 210 420 630 840 Feet

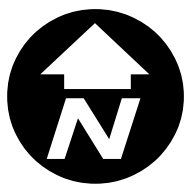
Z2021-008- SUP FOR 550 E. QUAIL RUN
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

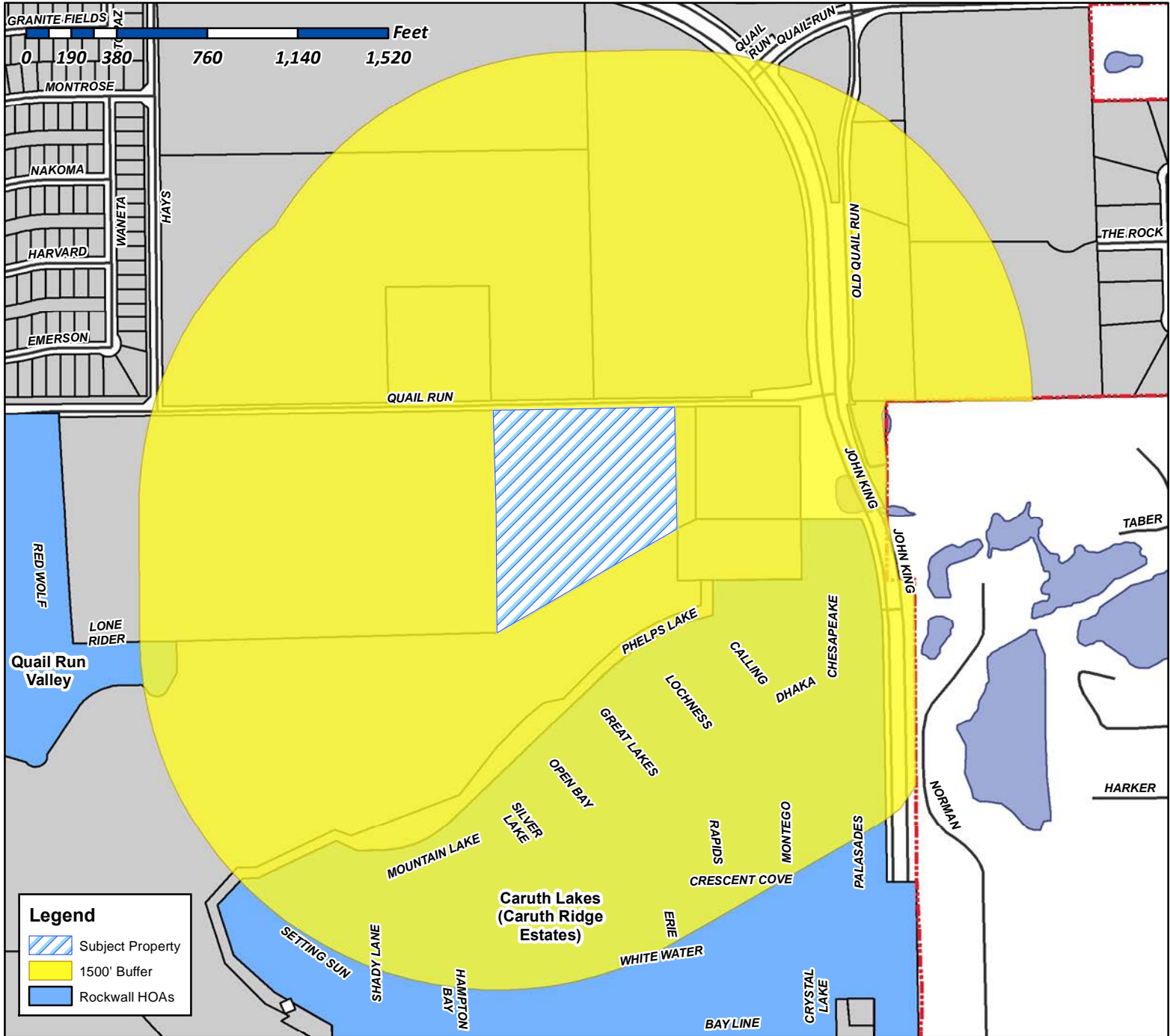




City of Rockwall

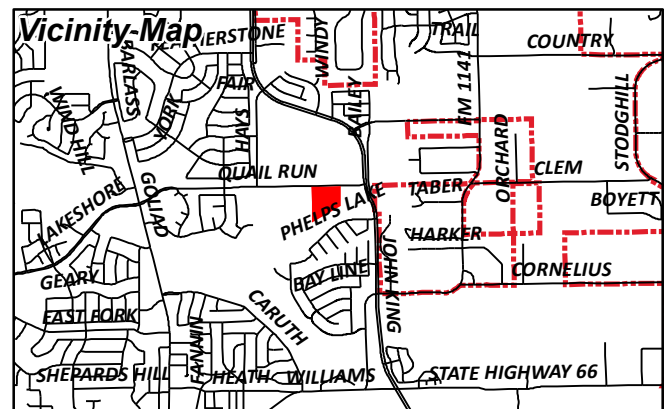
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-008
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 5 (PD-5)
Case Address: 550 E. Quail Run Road

Date Created: 4/19/2021
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Friday, April 23, 2021 3:34 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-008]
Attachments: Public Notice (04.27.2021).pdf; HOA Map Z2021-008.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on April 23, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-008 SUP for Residential Infill and a Guest Quarters/Secondary Living Unit

Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

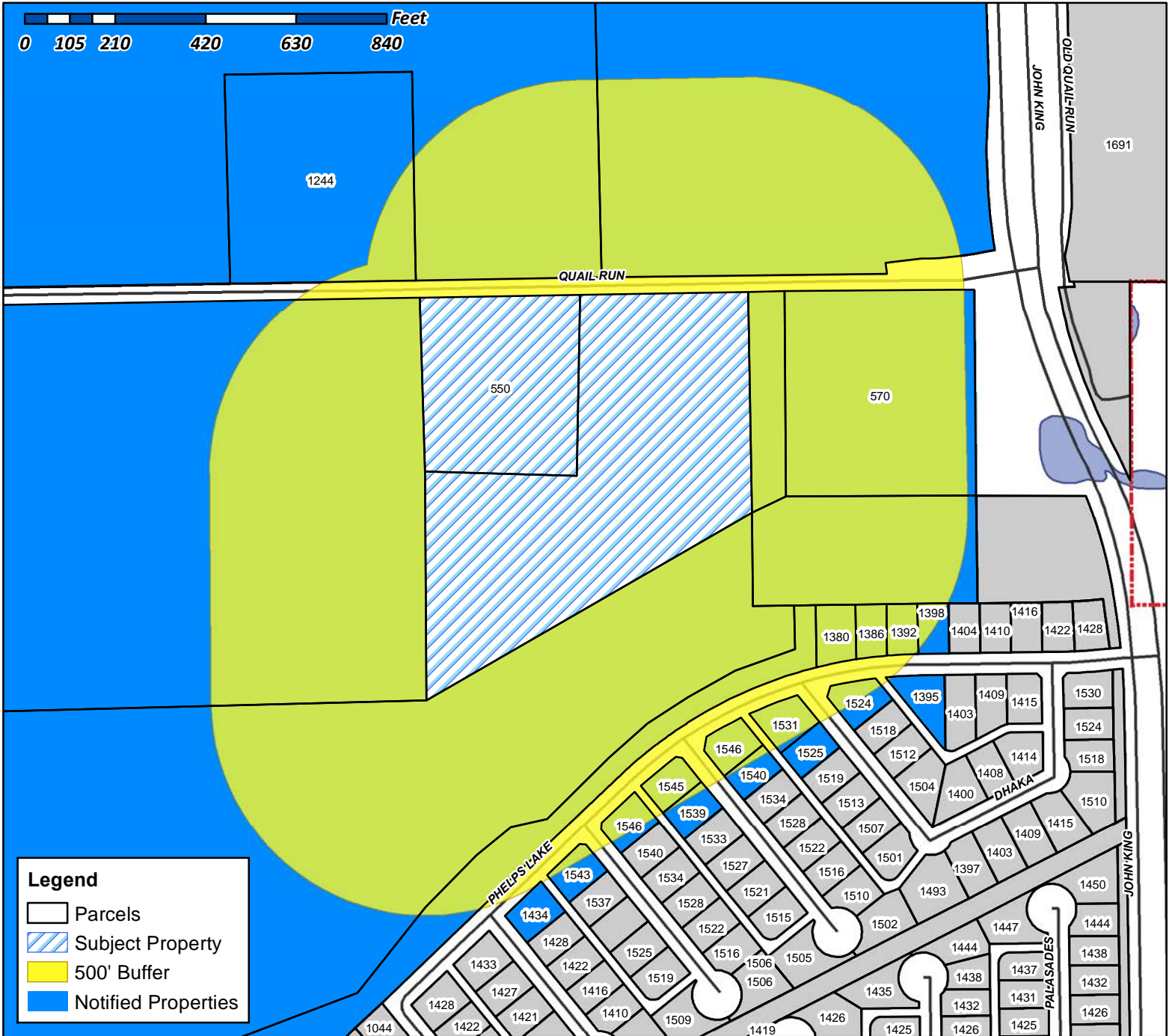
<http://www.rockwall.com/planning/>



City of Rockwall

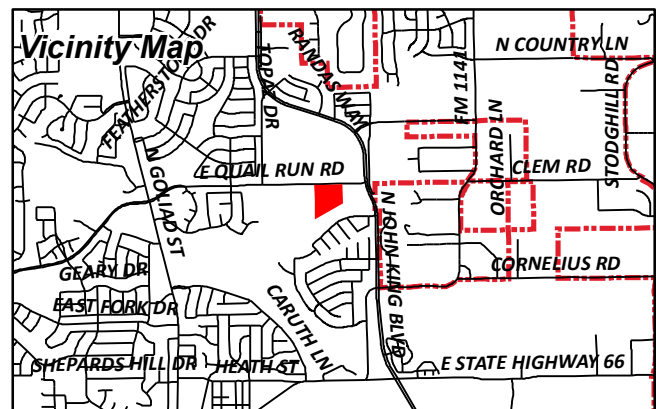
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Case Number: Z2021-008
Case Name: SUP For Residential Infill
Case Type: Zoning
Zoning: Planned Development District 5 (PD-5)
Case Address: 550 E. Quail Run Road

Date Created: 4/19/2021
 For Questions on this Case Call (972) 771-7745



HASSELL ERIN L
1059 HAMPTON BAY DR
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
1244 QUAIL RUN
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER
1309 MORAIN PL
HEATH, TX 75032

SANDERS APRIL D AND
JENNIFER S GEGOGINE
1380 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

DEWEY BRET ADMIRAL
1386 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KOSTERMAN CHRISTOPHER J & COLLEEN S
1392 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KLEIN RONALD AND KELLY
1395 PHELPS LAKE DR
ROCKWALL, TX 75087

COLE LESLIE E & REBECCA J
1398 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

BENNERS ROBERT JR AND TAMMI
1434 OPEN BAY CT
ROCKWALL, TX 75087

TOVAR ELISA M
1524 CALLING CIRCLE
ROCKWALL, TX 75087

WILLIAMS MICHAEL L AND PEGGY A
1525 CALLING CIRCLE
ROCKWALL, TX 75087

PETTY LYNDEN AND VICTORIA
1531 CALLING CIR
ROCKWALL, TX 75087

ARGENAL JULIO GABRIEL & AMBER ELIZABETH
1539 LOCHNESS COURT
ROCKWALL, TX 75087

KELSO MICHAEL AND MAURA
1540 LOCHNESS CT
ROCKWALL, TX 75087

PROTHRO ALISE
1543 GREAT LAKES COURT
ROCKWALL, TX 75087

HASSELL ERIN L
1545 LOCHNESSCT
ROCKWALL, TX 75087

NOGGLE SCOTT AND CARRI
1546 GREAT LAKES CT
ROCKWALL, TX 75087

SELMAN JOHN C JR AND VIRGINIA A
1546 LOCHNESS CT
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER
550 E QUAIL RUN RD
ROCKWALL, TX 75087

YINGLING JOHN R
570 EAST QUAIL RUN RD
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
6946 SPERRY ST
DALLAS, TX 75214

GIDEON GROVE ADDITION 2 LTD
8214 WESTCHESTER DR SUITE 710
DALLAS, TX 75225

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-008: Specific Use Permit for Residential Infill and a Guest Quarters/Secondary Living Unit

Hold a public hearing to discuss and consider a request by Lance Tyler on behalf of the owner Mike Worster for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on a 8.011-acre tract of land identified as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 17, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-008: Specific Use Permit for Residential Infill and a Guest Quarters/Secondary Living Unit

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

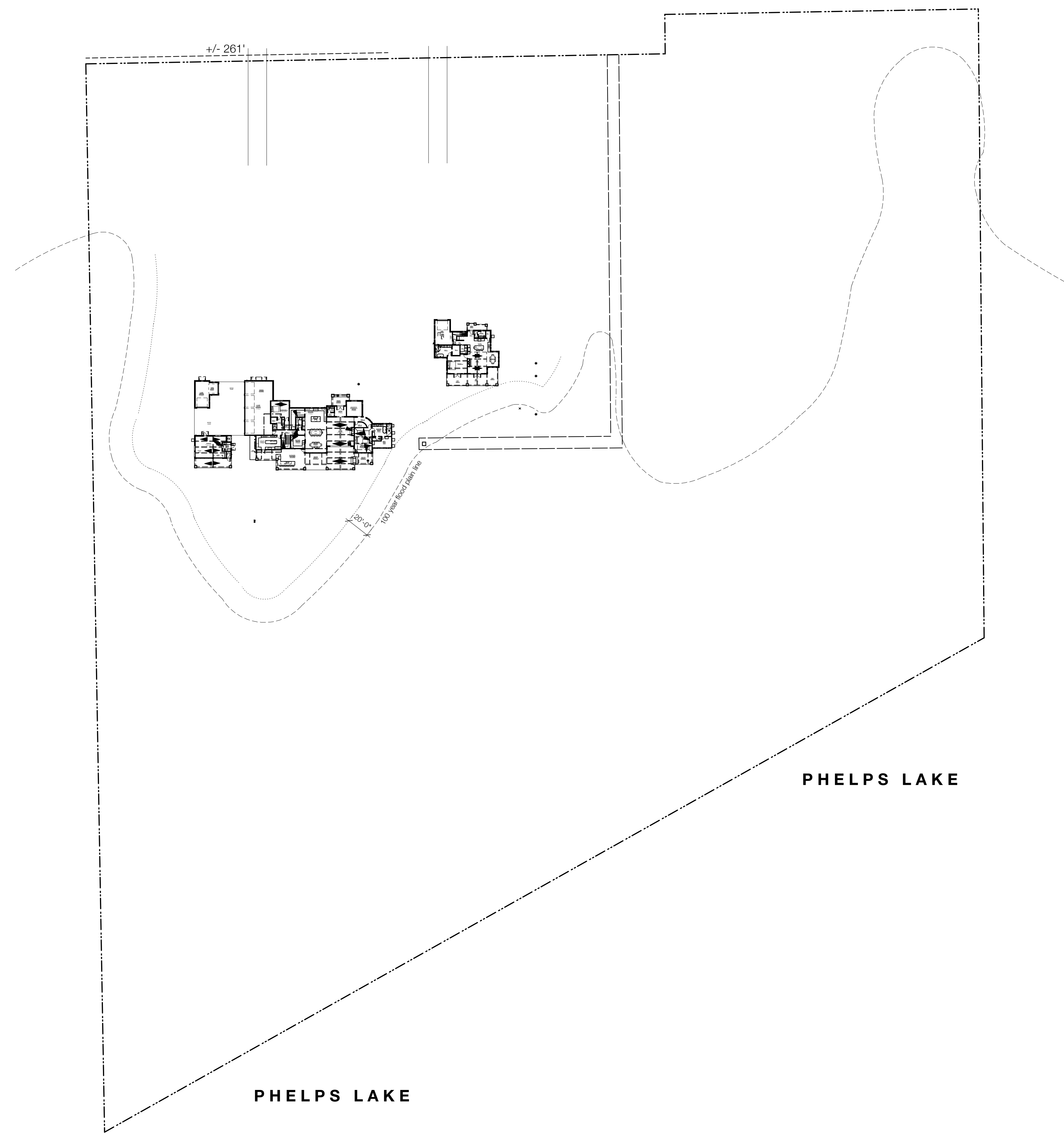
Name:

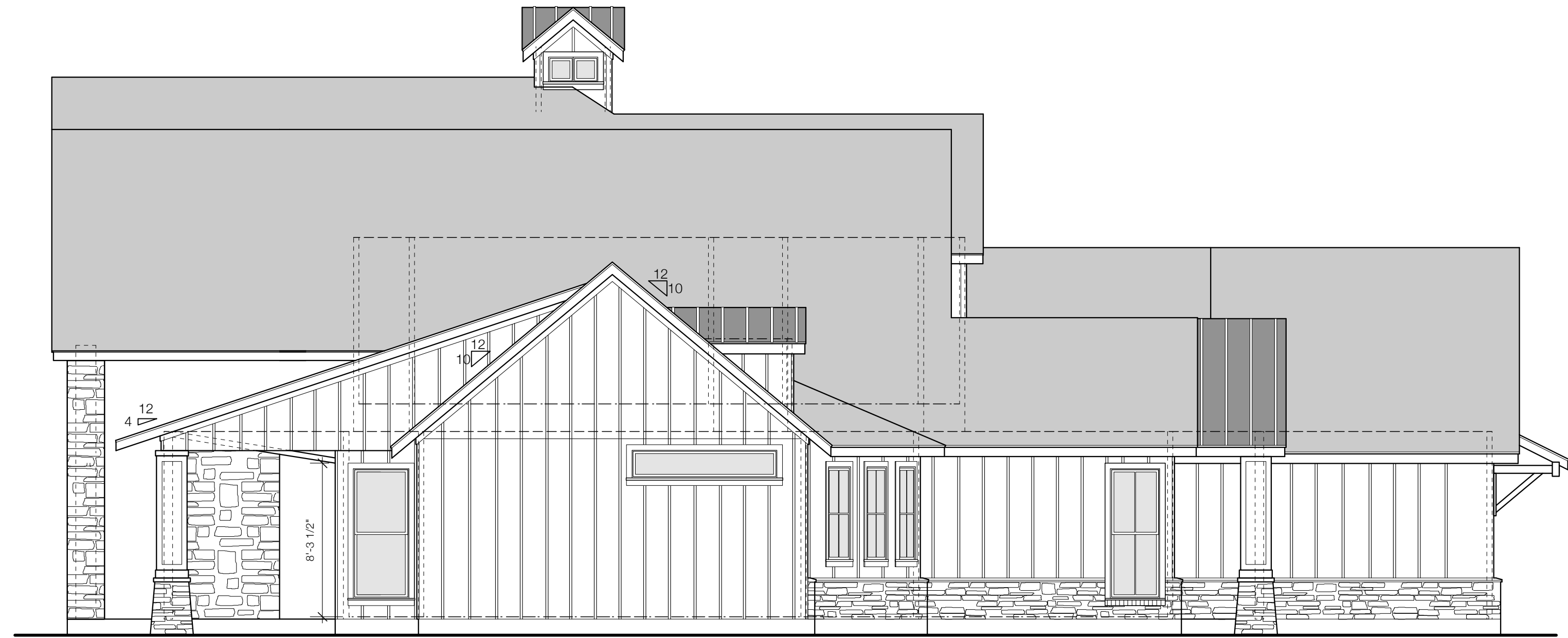
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

QUAIL RUN ROAD

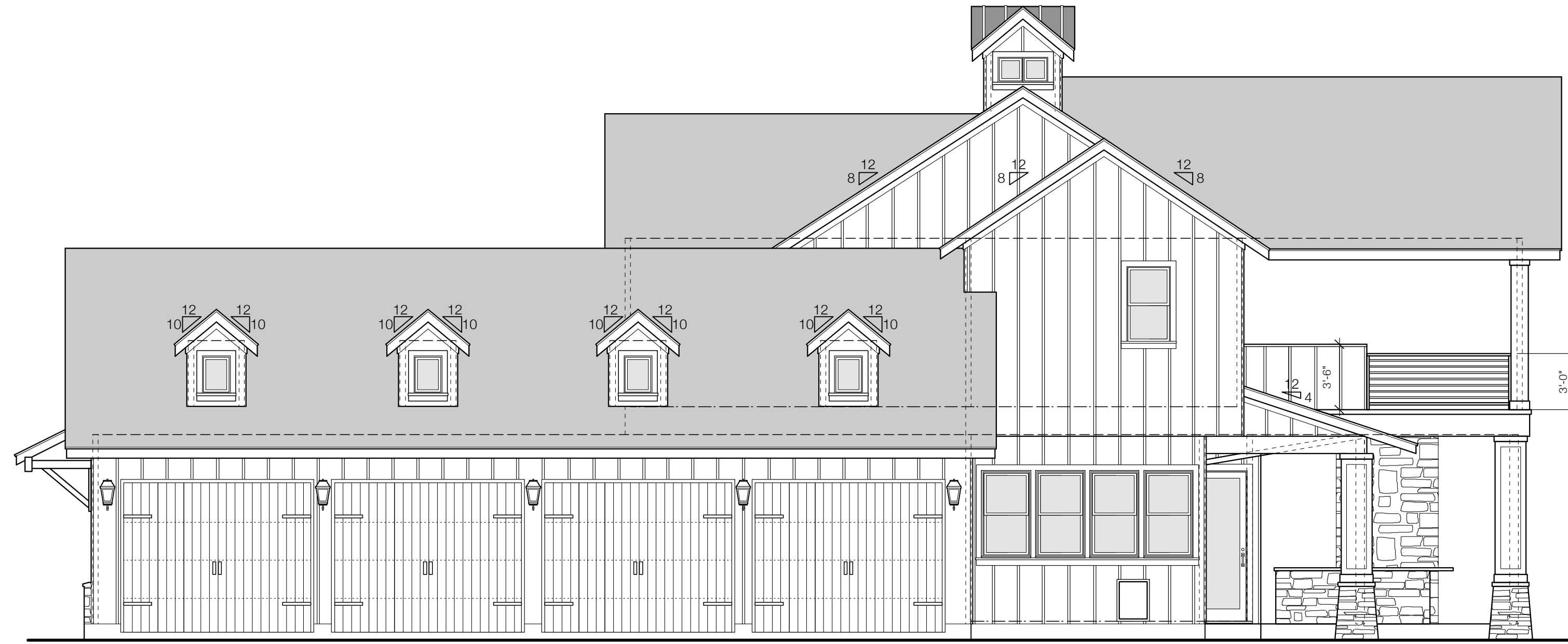




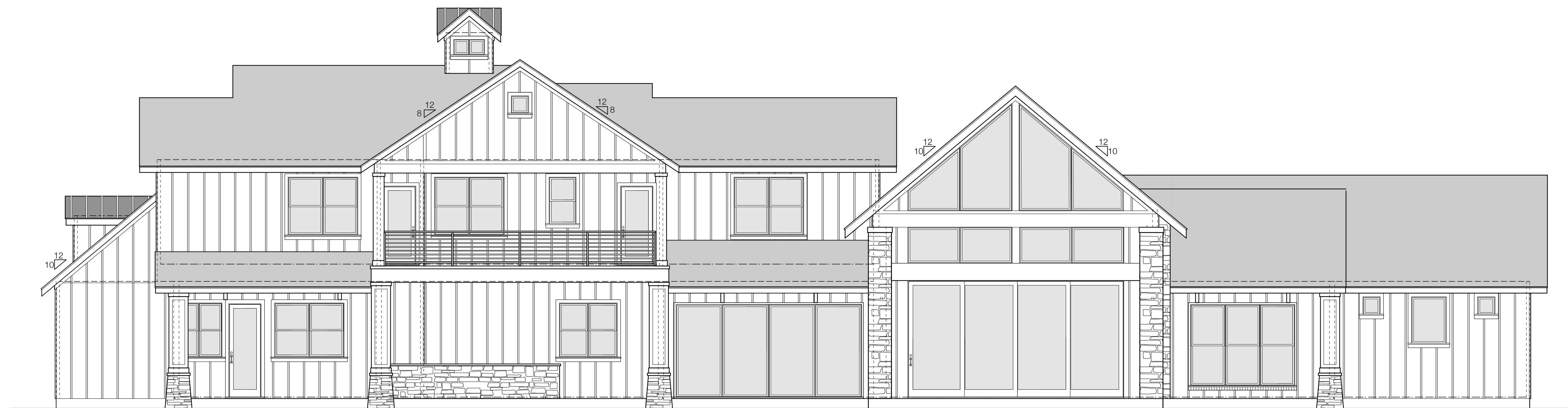
01
3.01 RESIDENCE EXTERIOR ELEVATION - LEFT
Scale: 3/16" = 1'-0"



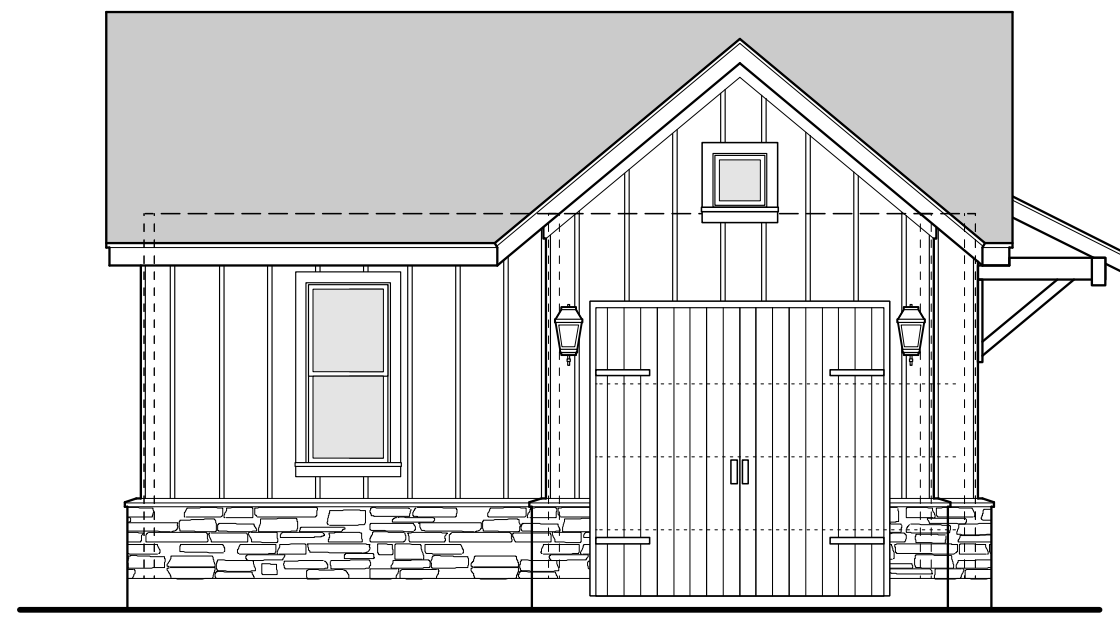
01
3.01 RESIDENCE EXTERIOR ELEVATION - FRONT
Scale: 3/16" = 1'-0"



01 RESIDENCE EXTERIOR ELEVATION - RIGHT
 3.01 Scale: 3/16" = 1'-0"



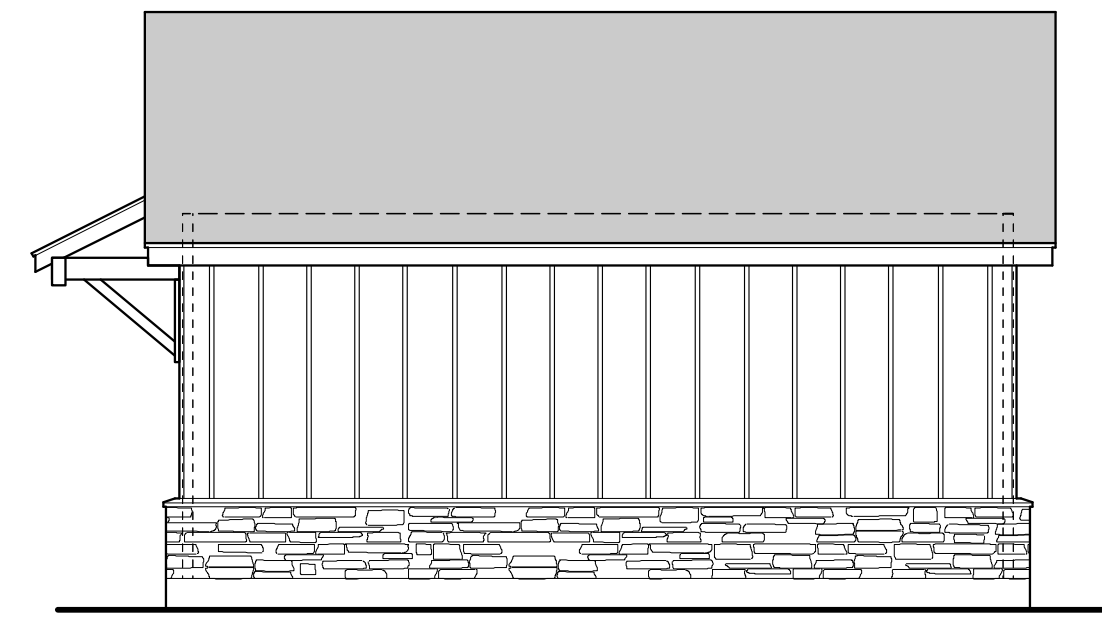
01 RESIDENCE EXTERIOR ELEVATION - REAR
 3.01 Scale: 3/16" = 1'-0"



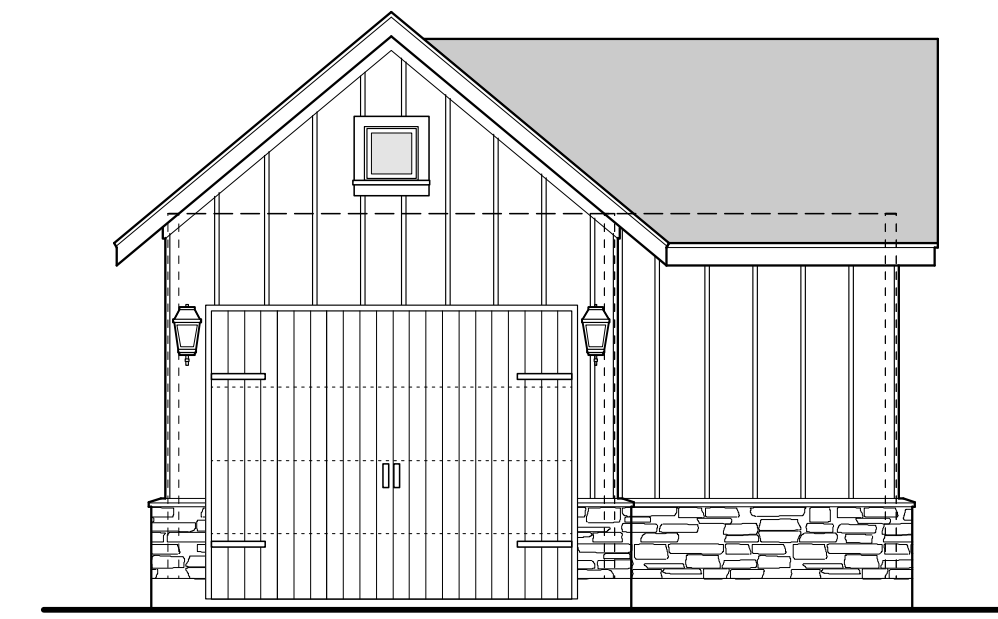
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
LEFT



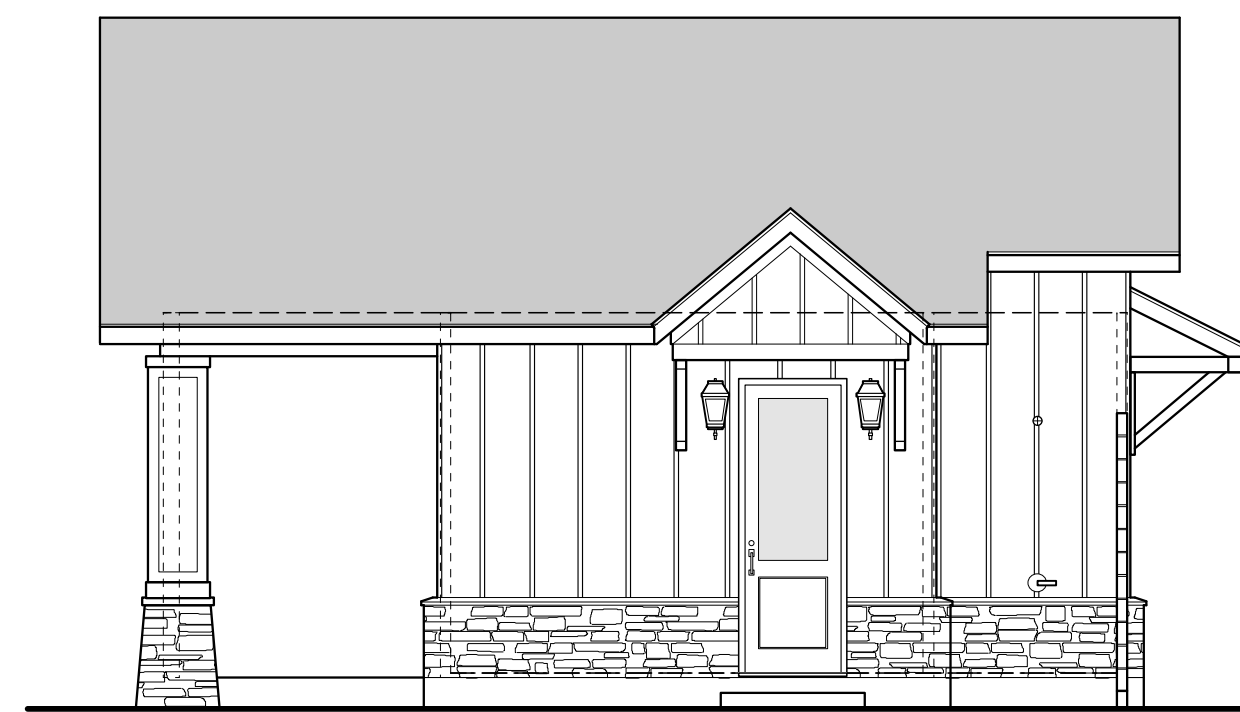
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
FRONT



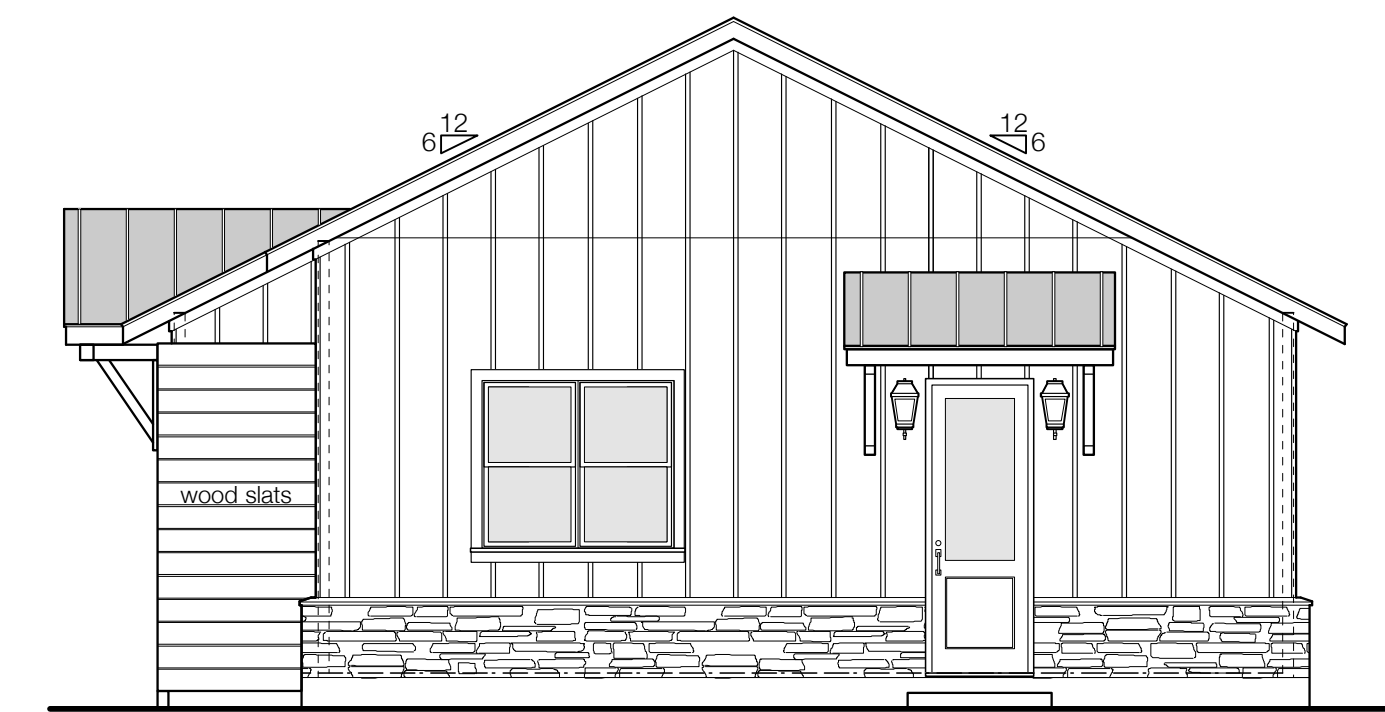
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
RIGHT



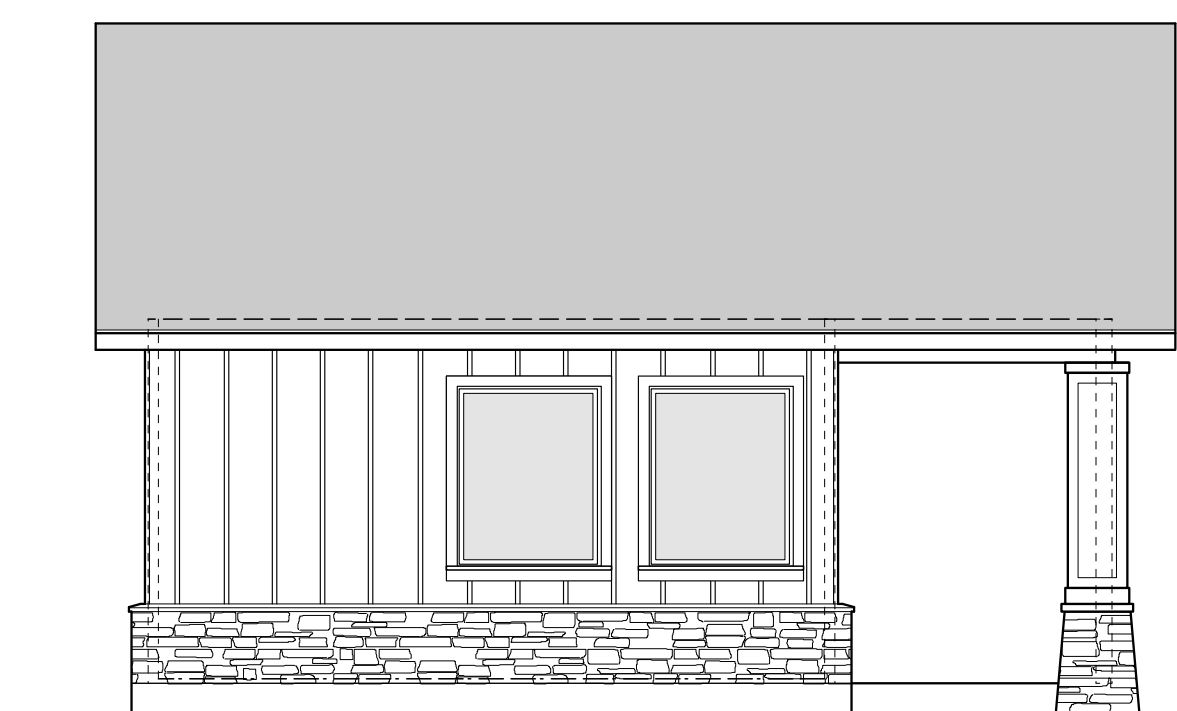
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
REAR



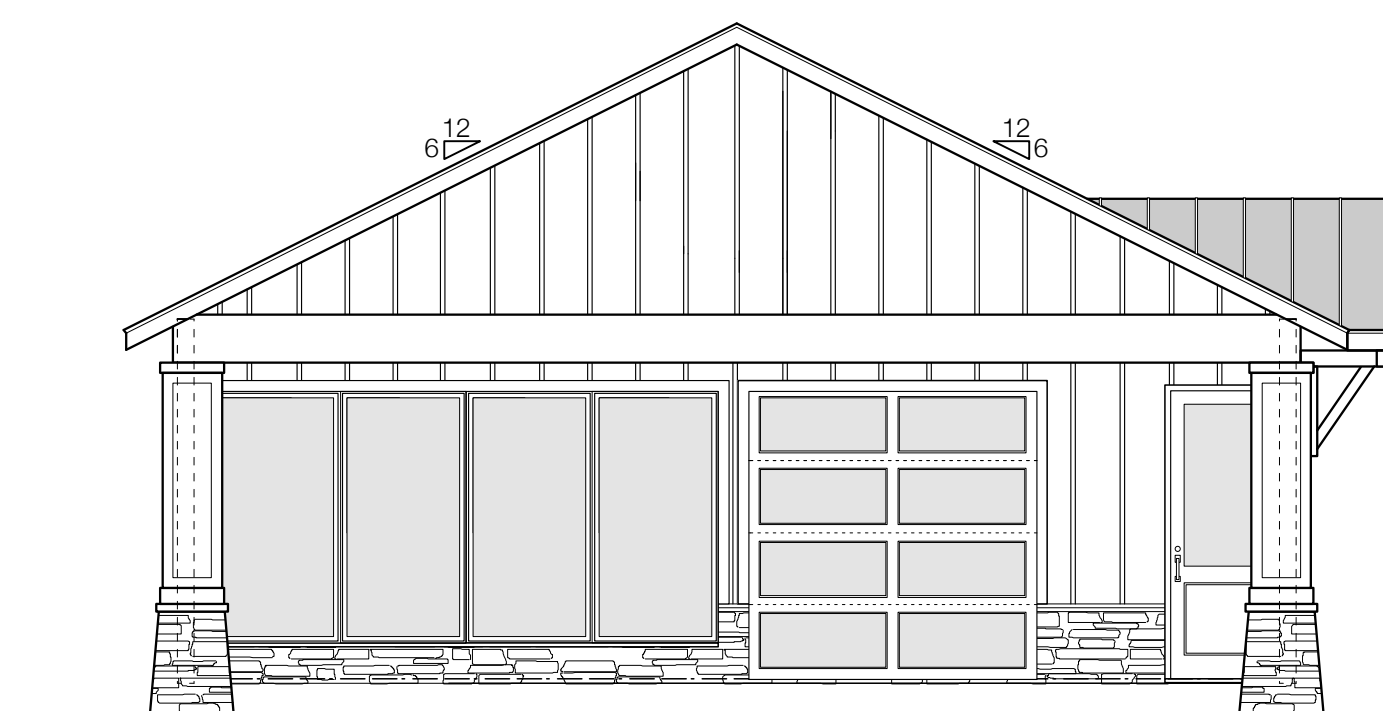
02
3.01 **CABANA EXTERIOR ELEVATION - LEFT**
Scale: 3/16" = 1'-0"



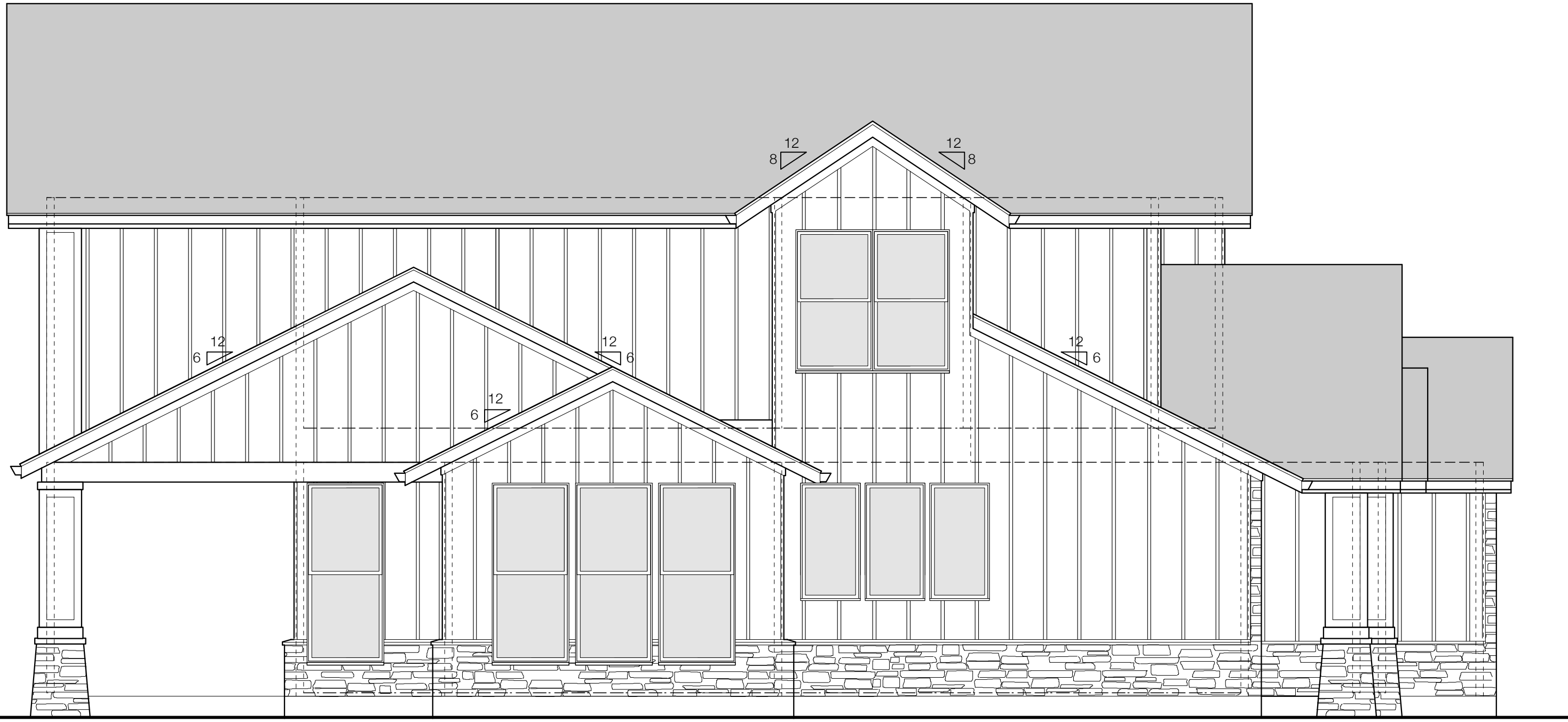
02
3.01 **CABANA EXTERIOR ELEVATION - FRONT**
Scale: 3/16" = 1'-0"



02
3.01 **CABANA EXTERIOR ELEVATION - RIGHT**
Scale: 3/16" = 1'-0"

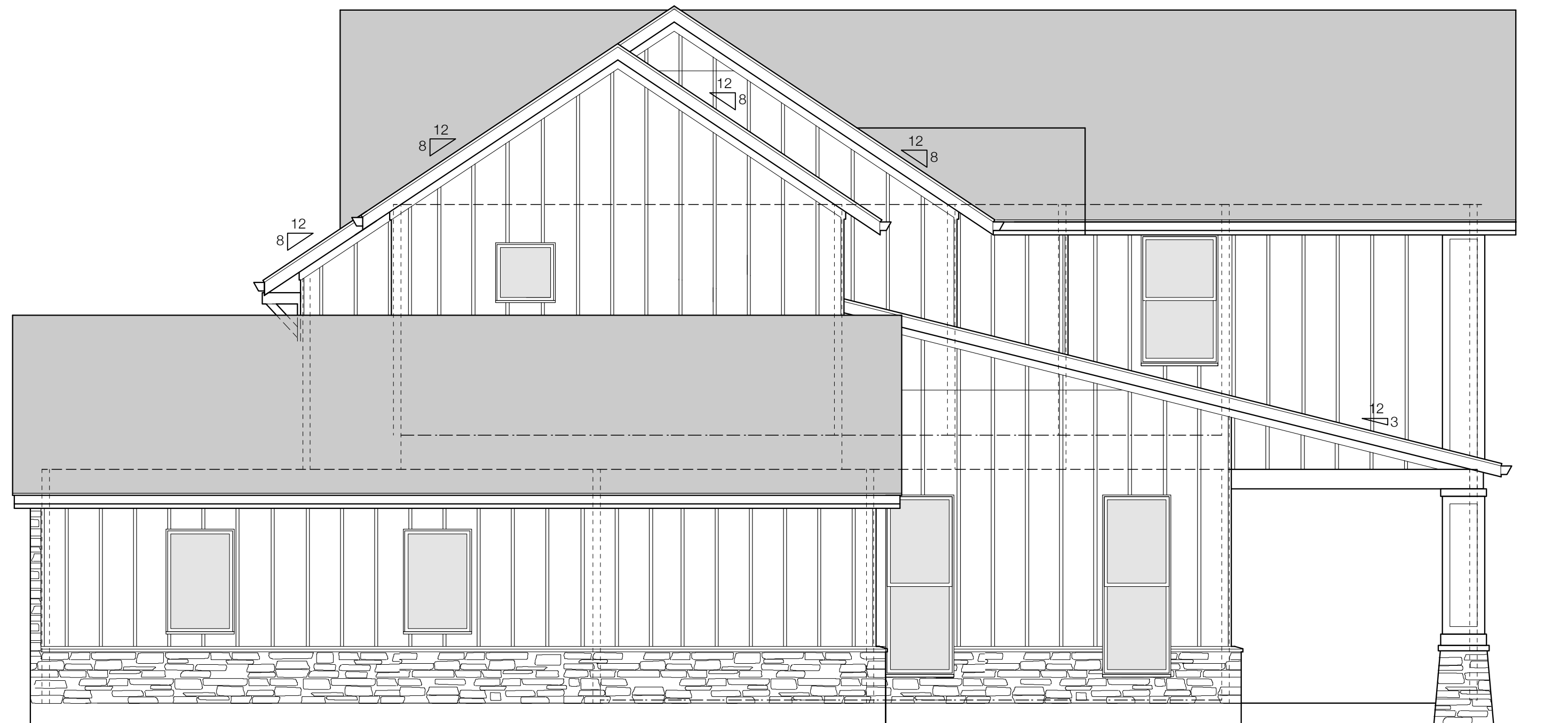


02
3.01 **CABANA EXTERIOR ELEVATION - REAR**
Scale: 3/16" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - LEFT**
3.01 Scale: 1/4" = 1'-0"

01 **GUEST HOUSE EXTERIOR ELEVATION - FRONT**
3.01 Scale: 1/4" = 1'-0"



01 **GUEST HOUSE EXTERIOR ELEVATION - RIGHT**
3.01 Scale: 1/4" = 1'-0"

01 **GUEST HOUSE EXTERIOR ELEVATION - REAR**
3.01 Scale: 1/4" = 1'-0"



option 2



option 1

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"



option 3



option 4

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
550 E. Quail Run Road	<i>RCAD Indicates Vacant</i>		Subject Property		
570 E. Quail Run Road	<i>Single-Family Home</i>	1988	3,257	2215	Brick
1244 E. Quail Run Road	<i>Single-Family Home</i>	1975	2,236	6433	Brick

Averages: 1982 2,747 4,324



570 E. Quail Run Road



1244 E. Quail Run Road

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 5 (PD-5) [ORDINANCE NO. 19-38] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION, A GUEST QUARTERS/SECONDARY LIVING UNIT, AND AN ACCESSORY STRUCTURE THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME, ACCESSORY STRUCTURE, DETACHED GARAGE, AND GUEST QUARTERS/SECONDARY LIVING UNIT ON AN 8.011-ACRE TRACT OF LAND, IDENTIFIED AS TRACT 19-2 OF THE S. S. MCCURRY SURVEY, ABSTRACT NO. 146, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.*

WHEREAS, the City has received a request from Lance Tyler for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision, a Guest Quarters/Secondary Living Unit, and an accessory structure* that exceeds the maximum allowable size to allow the construction of a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit on an 8.011-acre tract of land being described as Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) [Ordinance No. 19-38] for Single-Family 8.4 (SF-8.4) District land uses, addressed as 550 E. Quail Run Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 5 (PD-5) [Ordinance No. 19-38] the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of

Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, a *Guest Quarters/Secondary Living Quarters*, and an *accessory structure* that exceeds the maximum size to allow for the construction of a single-family home, accessory structure, detached garage, and guest quarters/secondary living unit in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.08, *Single-Family 8.4 (SF-8.4) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 5 (PD-5) [Ordinance No. 19-38] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home, guest quarters/secondary living unit, and accessory building on the *Subject Property* and conformance to these operational conditions are required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
- 3) The construction of the guest quarters/secondary living unit on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of the draft ordinance.
- 4) The construction of an accessory structure on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'E'* of the draft ordinance.
- 5) The accessory structure shall not exceed a maximum size of 620 SF.
- 6) The guest quarters/secondary living unit shall not exceed a maximum size of 3,150 SF.
- 7) The subject property shall be limited to three (3) accessory structures (*i.e. a detached garage, accessory building, and guest quarters/secondary living unit*) as depicted in *Exhibit 'B'* of the draft ordinance.
- 8) The guest quarters/secondary living unit may be conveyed as a separate housing unit if the property is subdivided -- in accordance with the Unified Development Code (UDC) and Planned Development District 5 (PD-5) -- prior to conveyance; however, should the guest quarters/secondary living unit be modified to not meet the zoning requirements for a single-family home -- prior to the subdivision of land --, the guest quarters/secondary living unit may not be conveyed separately from the primary structure

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

DRAFT
ORDINANCE
05.17.2021

Exhibit 'A'
Location Map and Survey

Address: 550 E. Quail Run Road

Legal Description: Tract 19-2 of the S. S. McCurry Survey, Abstract No. 146



**Exhibit 'B':
Residential Plot Plan
QUAIL RUN ROAD**

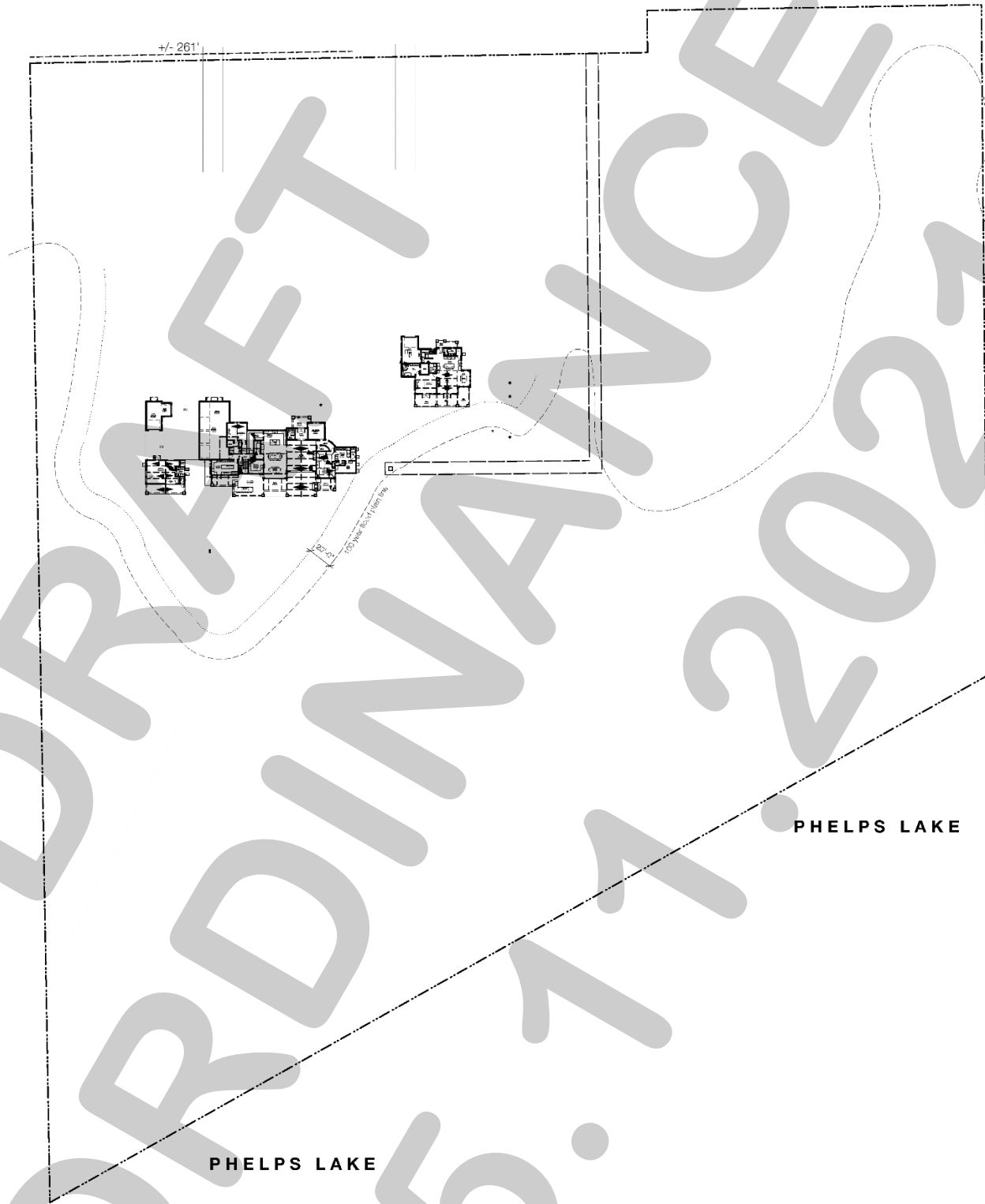
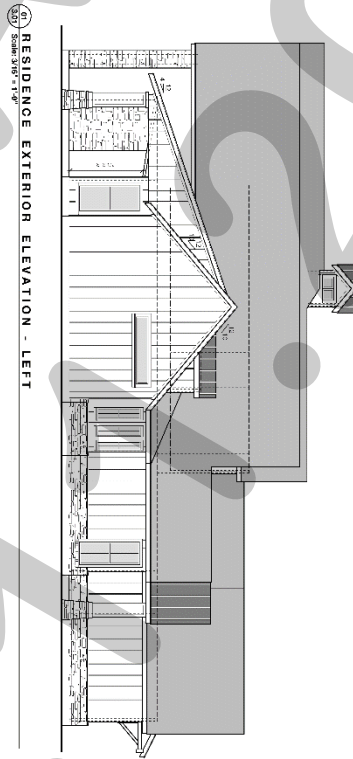
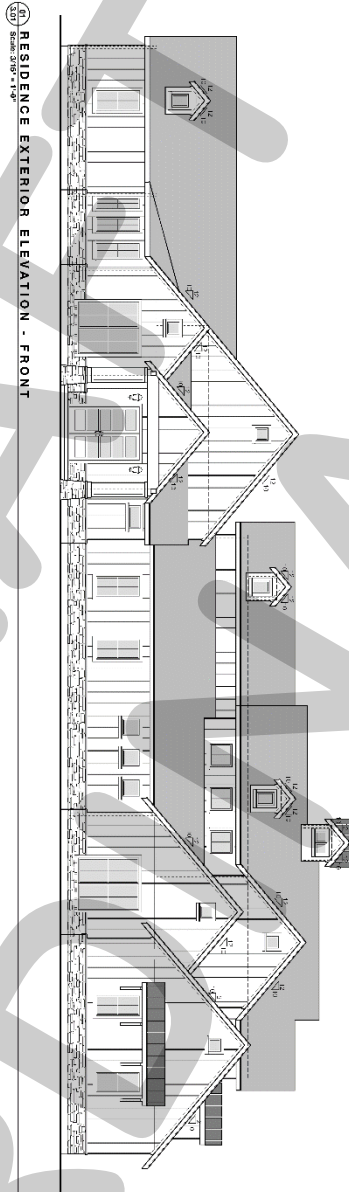


Exhibit 'C':
Building Elevations

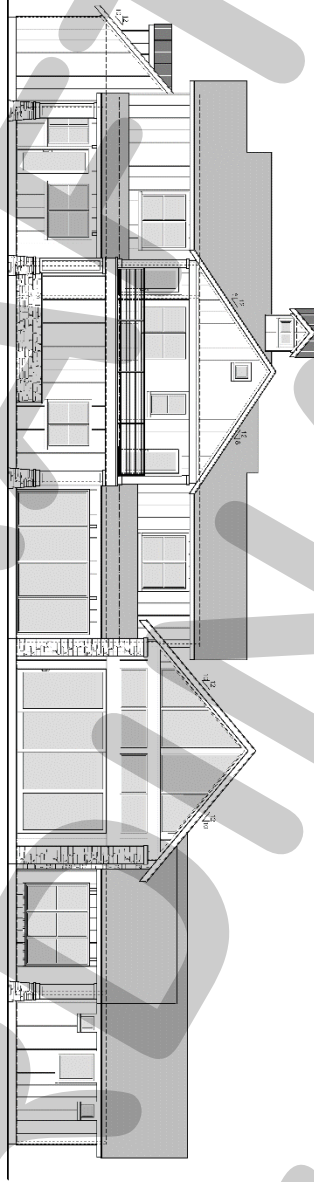


3.01

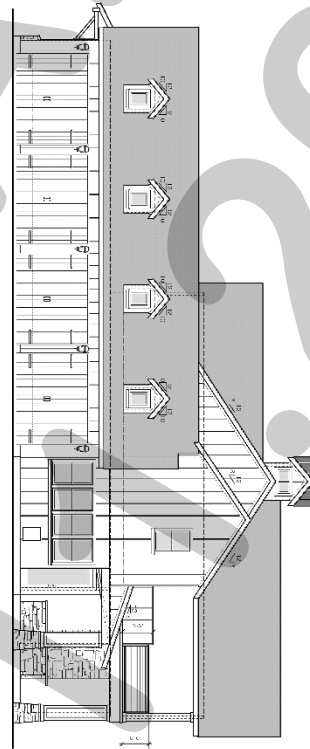
EXTERIOR
ELEVATIONS

Exhibit 'C':
Building Elevations

RESIDENCE EXTERIOR ELEVATION - REAR
Scale: 3/16" = 1'-0"



RESIDENCE EXTERIOR ELEVATION - RIGHT
Scale: 3/16" = 1'-0"

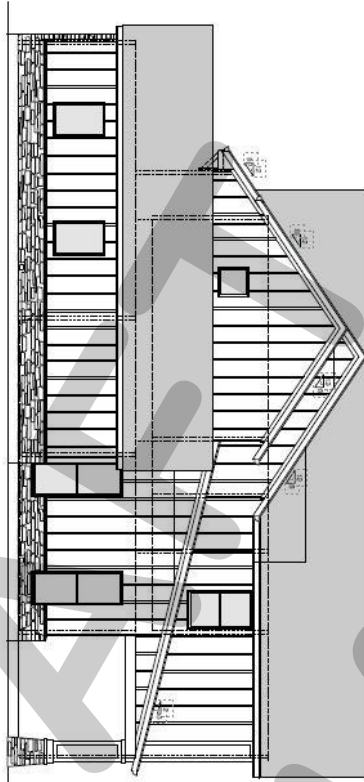


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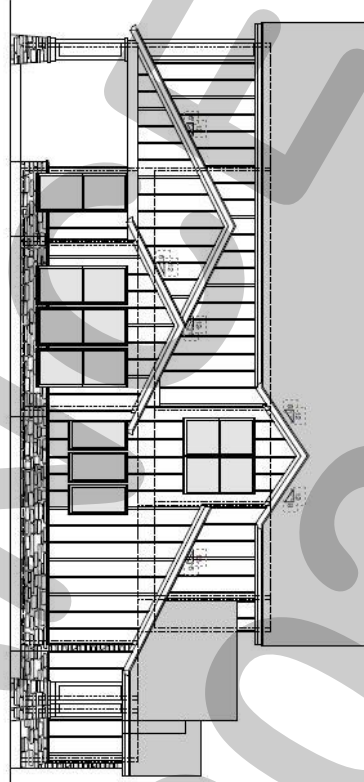
EXTERIOR
ELEVATIONS

Exhibit 'D':
Guest Quarters/Secondary Living Unit

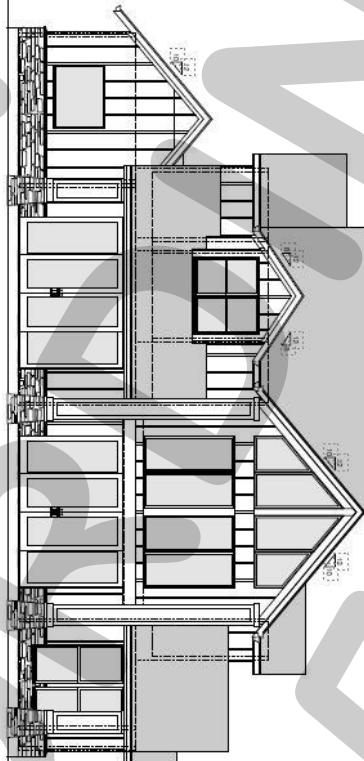
301
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - RIGHT



302
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - LEFT



303
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - REAR



304
Scale: 1/8" = 1'-0"
GUEST HOUSE EXTERIOR ELEVATION - FRONT

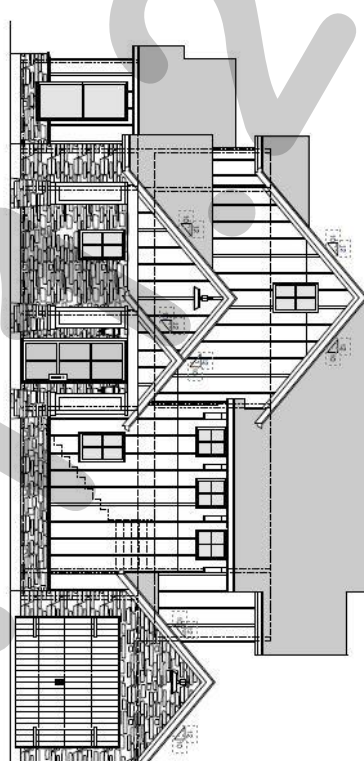


Exhibit 'D':
Guest Quarters/Secondary Living Unit

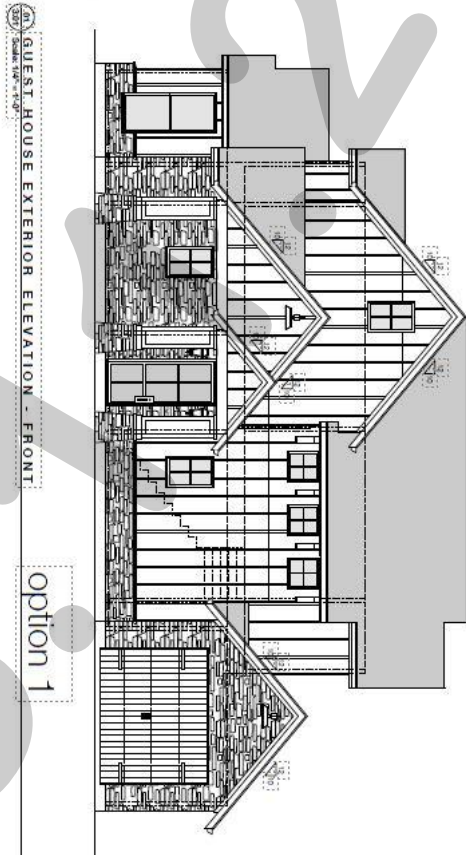
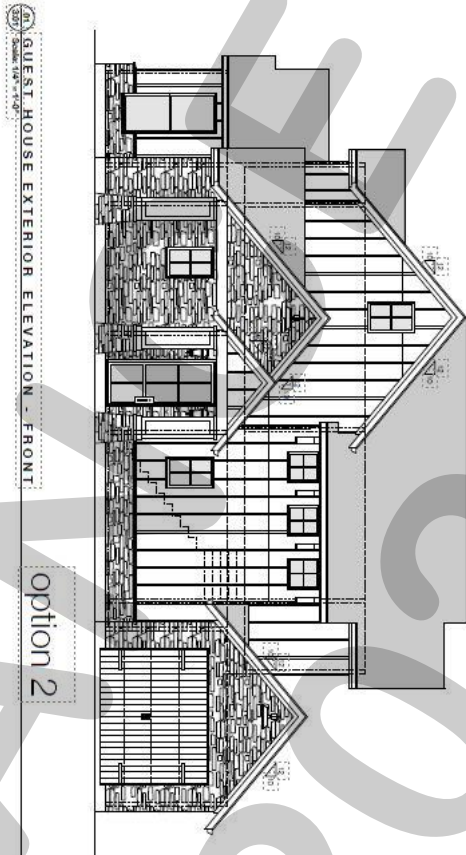
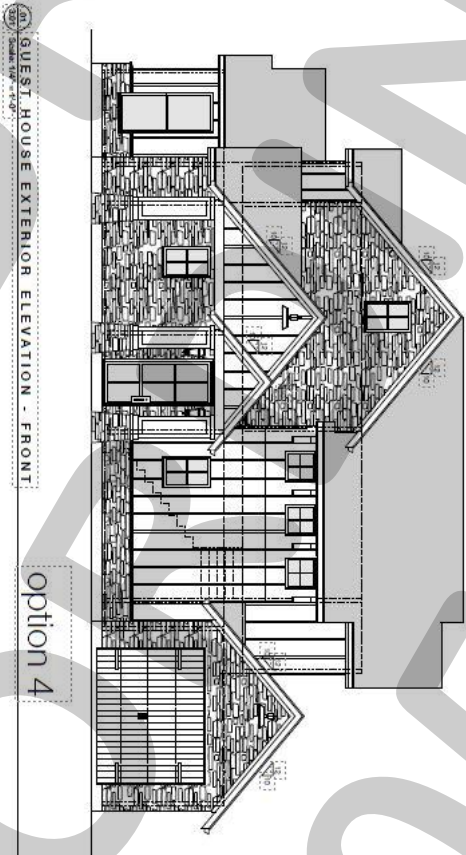
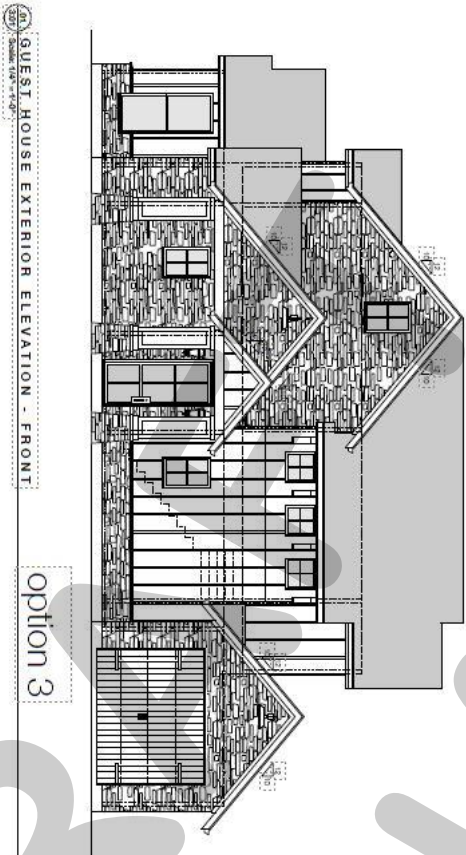
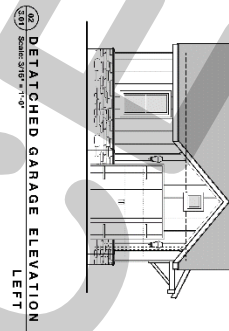
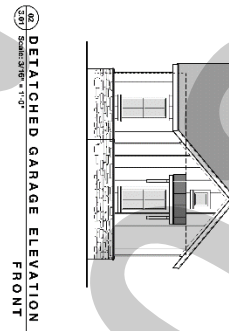


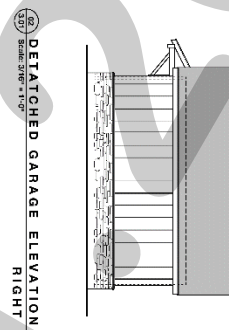
Exhibit 'E':
Accessory Structure



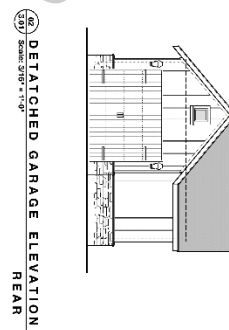
DETACHED GARAGE ELEVATION
 LEFT



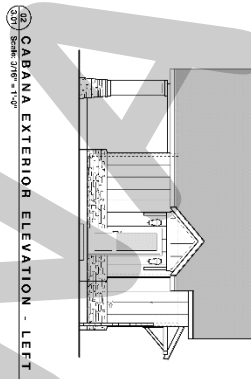
DETACHED GARAGE ELEVATION
 FRONT



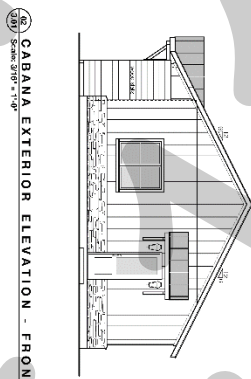
DETACHED GARAGE ELEVATION
 RIGHT



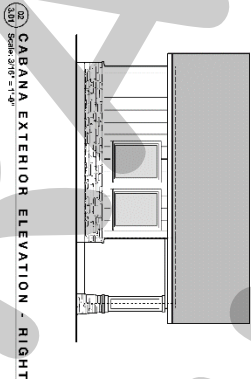
DETACHED GARAGE ELEVATION
 REAR



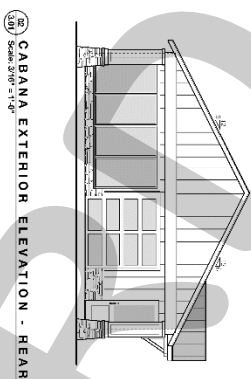
CABANA EXTERIOR ELEVATION - LEFT



CABANA EXTERIOR ELEVATION - FRONT



CABANA EXTERIOR ELEVATION - RIGHT



CABANA EXTERIOR ELEVATION - REAR

3.03

EXTERIOR
 ELEVATIONS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Michael Morgan
CASE NUMBER: Z2021-009; *Specific Use Permit (SUP) for a Residential Infill for 704 Parks Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a singlefamily home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

BACKGROUND

The subject property is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, & 9, Block D, Foree Addition in 1980; however, these properties were never assembled or replatted. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards. In 2019, the single-family home situated on these three (3) lots was demolished under *BLD2019-3321*. On April 6, 2020, the City Council approved two (2) Specific Use Permits [*Case No.'s Z2020-002 & Z2020-003*] for *Residential Infill in an Established Subdivision* for Lots 7 & 8, Block D, Foree Addition. Following this approval, a single-family home was constructed on each of these lots (*BLD2019-3322 & BLD2020-0172*). Lot 9, Block D, Foree Addition (*i.e. the subject property*) has remained vacant since the single-family home was demolished.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 704 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) single-family homes (706, 708, & 714 Heath Street) followed by Heath Street, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. the Pecan Grove, Stark, & Wade Subdivisions*). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are five (5) residential homes followed by Lillian Street, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the

OURHometown Vision 2040 Comprehensive Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District. All of these areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting onto Nash Street. Both of these streets are designated as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. Rockwall Assembly of God). All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are eight (8) houses fronting onto Parks Avenue, which is designated as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Avenue and the Subject Property	Proposed Housing
Building Height	Majority One (1) Story with One (1), Two (2) Story	Two (2) Story (32'-9" to the Peak of the Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevation of the home will face on to Parks Street.
Year Built	1929-2020	N/A
Building SF on Property	946 SF – 3,912 SF	4,004 SF (2,390 SF of Air-Conditioned Space)
Building Architecture	Various [<i>Minimal Traditional, Tudor, Ranch, etc.</i>]	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	44-Feet, 5-Inches
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	Hardi Board Siding, Composition Roof Shingles, and Standing Seam Metal Roof
Paint and Color	Pink, Yellow, White, and Tan	Tan
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle and Standing Seam Metal Roof

Driveways/Garages	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	The garage will be rear entry.
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Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 26, 2021, staff mailed 114 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*i.e. Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had not received any notices.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2021-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 704 Parks Ave
 Subdivision Foree Addition Lot 9 Block D
 General Location Parks Ave + Heath St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF3 Current Use Residential
 Proposed Zoning _____ Proposed Use Residential
 Acreage 0.161 Lots [Current] _____ Lots [Proposed] 0.161

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner <u>Gary Scott Barron</u>	<input checked="" type="checkbox"/> Applicant <u>Michael Morgan</u>
Contact Person <u>Gary Scott Barron</u>	Contact Person <u>Michael Morgan</u>
Address <u>1385 Tanglevine</u>	Address <u>14 Kestrel Ct</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath Tx 75032</u>
Phone <u>325-864-4130</u>	Phone <u>469.600.9861</u>
E-Mail <u>scottbarron61@gmail.com</u>	E-Mail <u>michael@buildmgn.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Gary Scott Barron [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

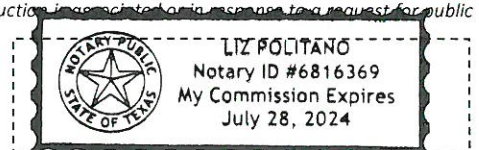
Given under my hand and seal of office on this the 5 day of April, 20 21.

Owner's Signature

Gary S. Barron

Notary Public in and for the State of Texas


Liz Politano

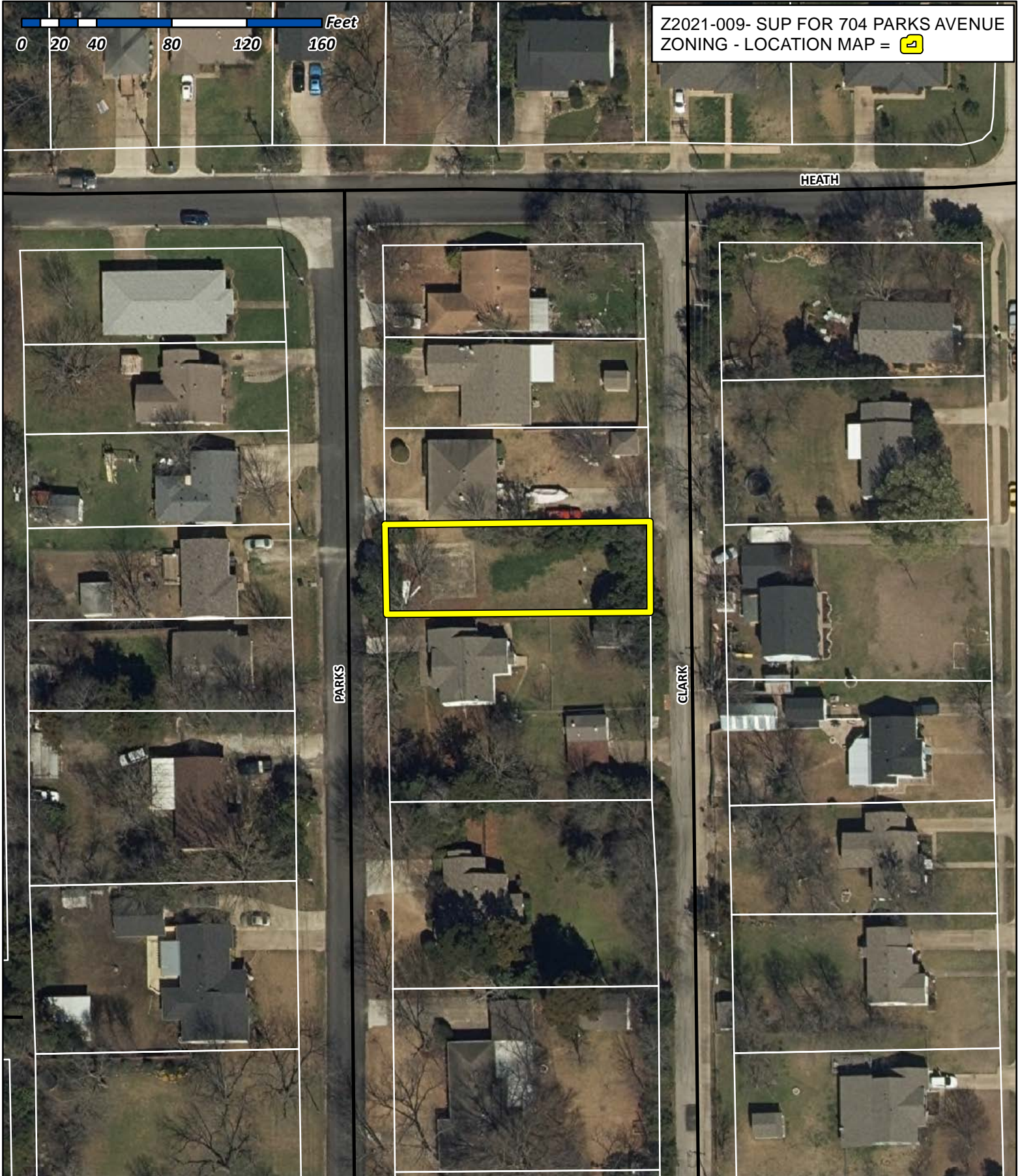


My Commission Expires

7-28-24

0 20 40 80 120 160 Feet

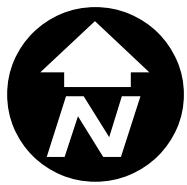
Z2021-009- SUP FOR 704 PARKS AVENUE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

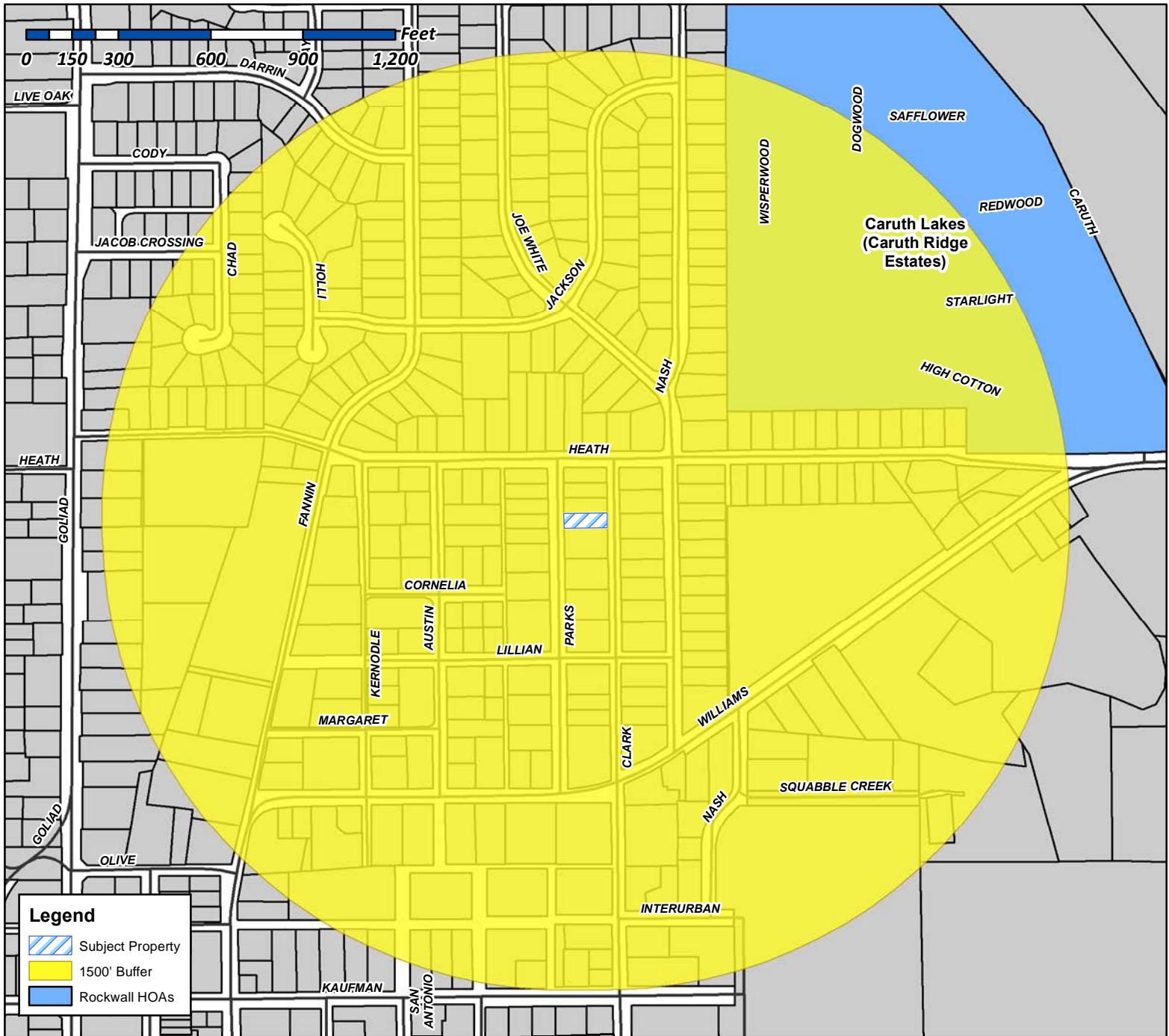




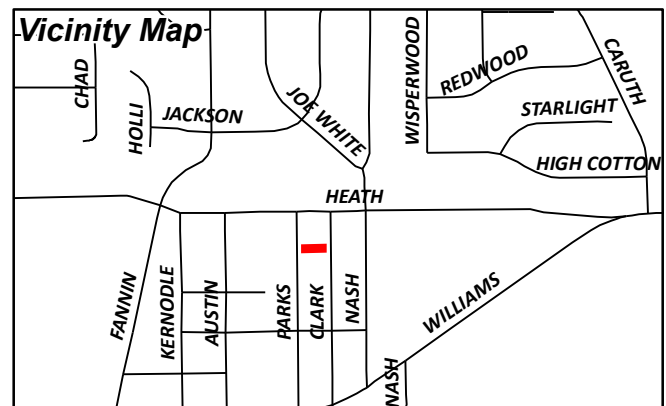
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-009
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 704 Parks Avenue



Date Created: 4/15/2021
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Friday, April 23, 2021 3:34 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-009]
Attachments: Public Notice (04.27.2021).pdf; HOA Map Z2021-009.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on April 23, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-009 SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

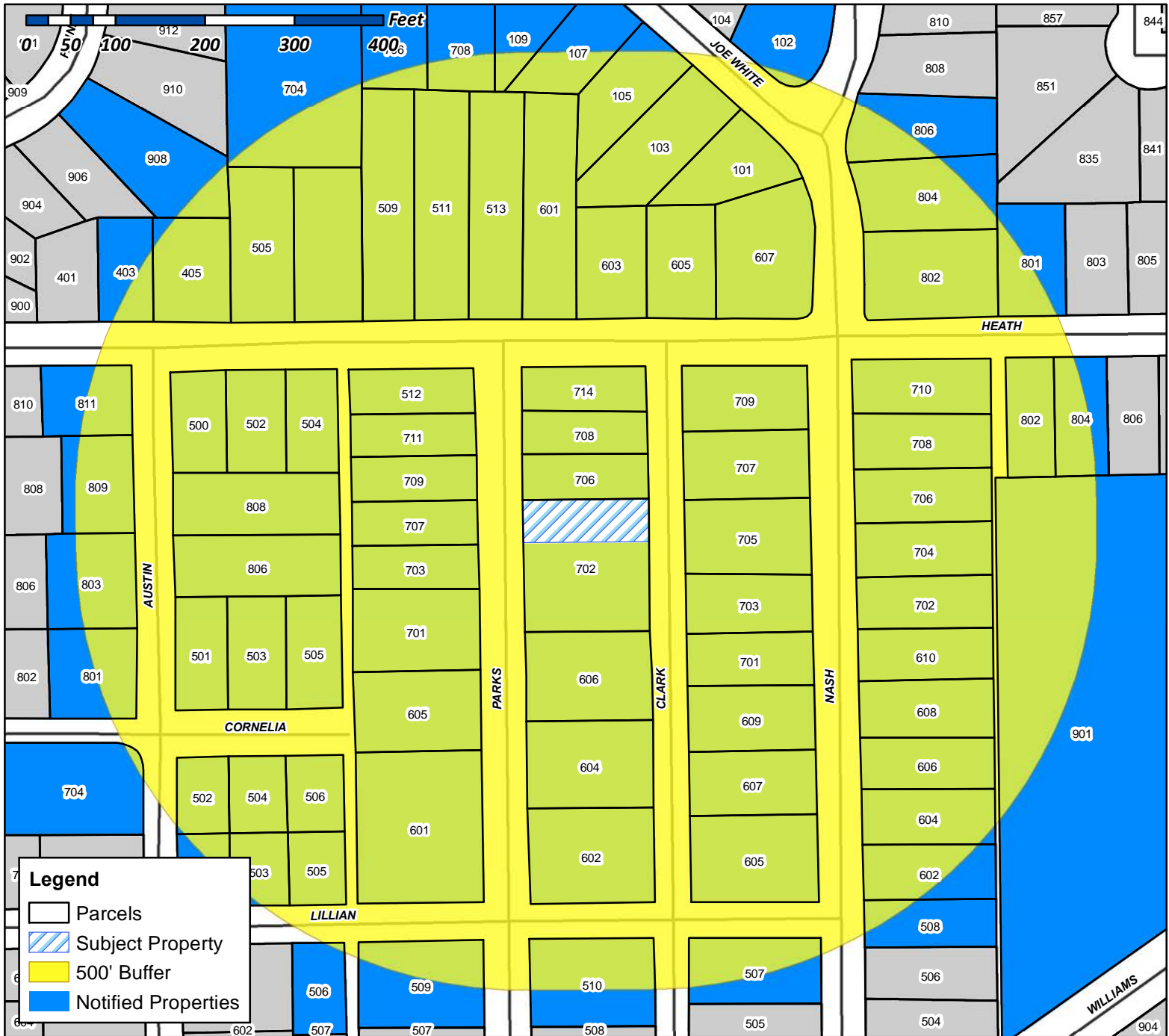
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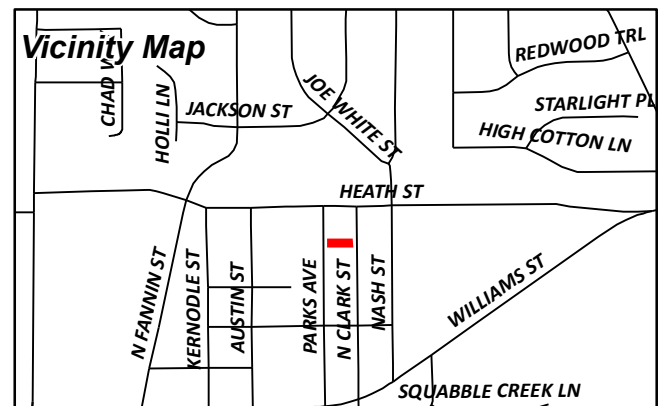
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-009
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 704 Parks Avenue



Date Created: 4/15/2021
For Questions on this Case Call (972) 771-7745

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

PYLAND KENNETH C & MELANIE M
102 JOE WHITE ST
ROCKWALL, TX 75087

GLASS JERRY R
103 JOE WHITEST
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
105 JOE WHITE ST
ROCKWALL, TX 75087

KRIZAN RASTISLAV
107 JOE WHITE
ROCKWALL, TX 75087

PEOPLES JIMMIE DALE
109 JOE WHITE ST
ROCKWALL, TX 75087

SABRSULA MELISSA
1571 ANNA CADE RD
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
2 MANOR CT
HEATH, TX 75032

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

BLAZEK ALVIN F & DOROTHY H
2614 W 10TH ST
DALLAS, TX 75211

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

BREWER SHERI RENEE
30113 TROUTDALE SCENIC DR
EVERGREEN, CO 80439

LASKY KRISTINE ELIZABETH
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

ZYLKA JOE AND BONNIE
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

WALLS JEFFREY V & NATALIE ANN
3115 CHINESE FIR DR
HEATH, TX 75126

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
403 E HEATH ST
ROCKWALL, TX 75087

PARK ALLEN
405 E HEATH ST
ROCKWALL, TX 75087

HODGES PATRICK L
481 ARCADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIANST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
505 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

CAWTHON RICK
508 NASH ST
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
509 E HEATH ST
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
511 E HEATH ST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STARK ROBERT C
601 E HEATH ST
ROCKWALL, TX 75087

SIMMONS APRIL R
602 NASH STREET
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

HOWARD DEBORAH K
604 NASH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

ESTATE OF SUSAN ELAINE BYRD DAVIS
605 STORRS
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
605 E HEATH ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
607 NASH ST
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
610 NASH ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

BLAZEK ALVIN F & DOROTHY H
701 NASH ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
704 NASH ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ZYLKA PENNI R
706 JACKSON ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

MCCLAIN LOUETTA
707 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS AVE
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
708 JACKSON ST
ROCKWALL, TX 75087

SABRSULA MELISSA
708 NASH ST
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

BREWER SHERI RENEE
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

WIMPEE TYLER
801 E HEATH STREET
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA
802 E HEATH ST
ROCKWALL, TX 75087

STEGALL VENTURES LLC
802 NASH ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

ESTATE OF SUSAN ELAINE BYRD DAVIS
804 NASH ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

HODGES PATRICK L
806 NASH ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTIN ST
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTIN ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
8916 MEADOW KNOLL
DALLAS, TX 75243

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
901 WILLIAMS ST
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
908 N FANNIN ST
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
PO BOX 511
FATE, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-009: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Michael Morgan on behalf of the owner Gary Scott Barron for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre parcel of land identified as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 17, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-009: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

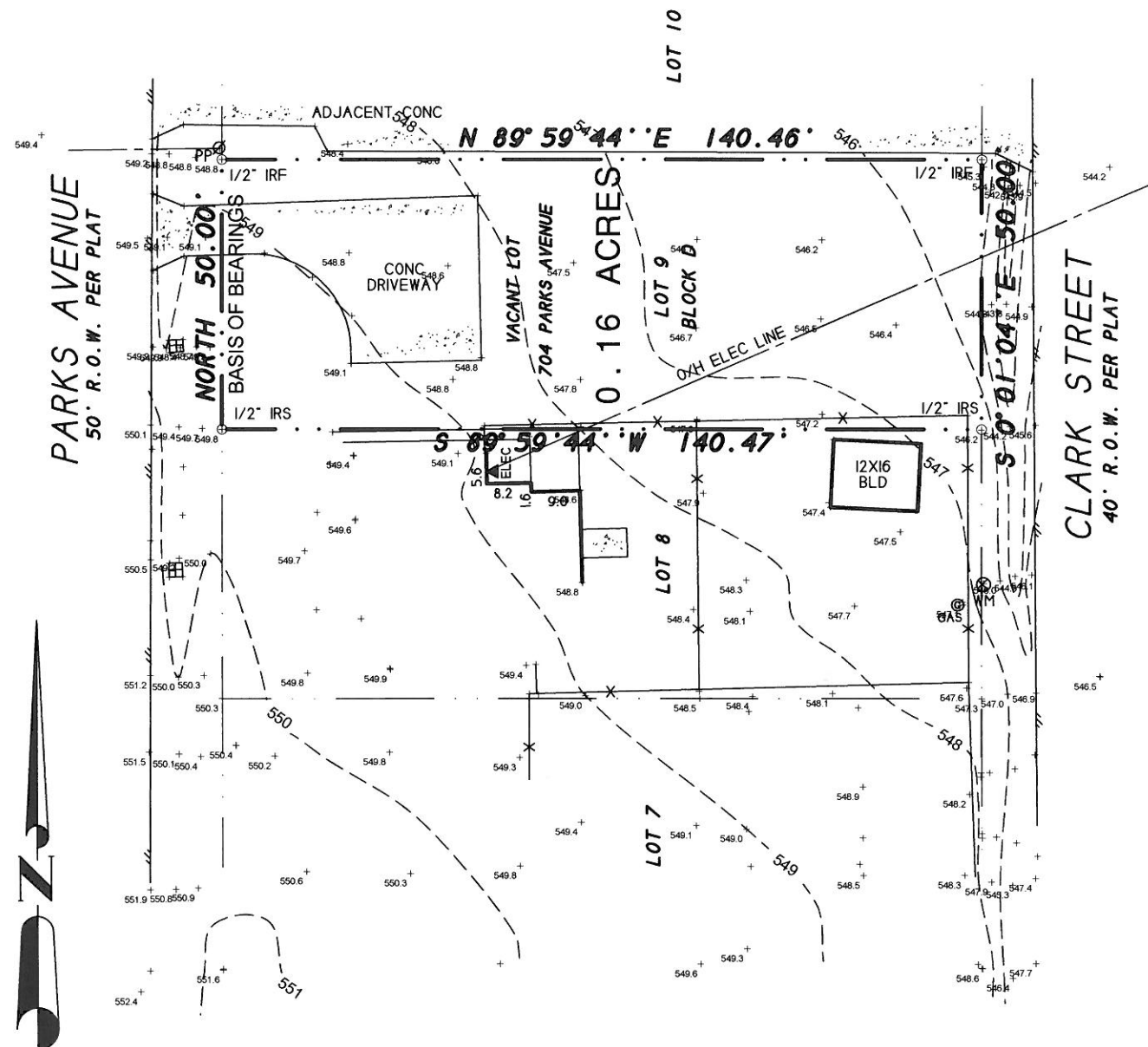
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

DESCRIPTION

BEING Lot 9, Block D, Fores Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 704 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034

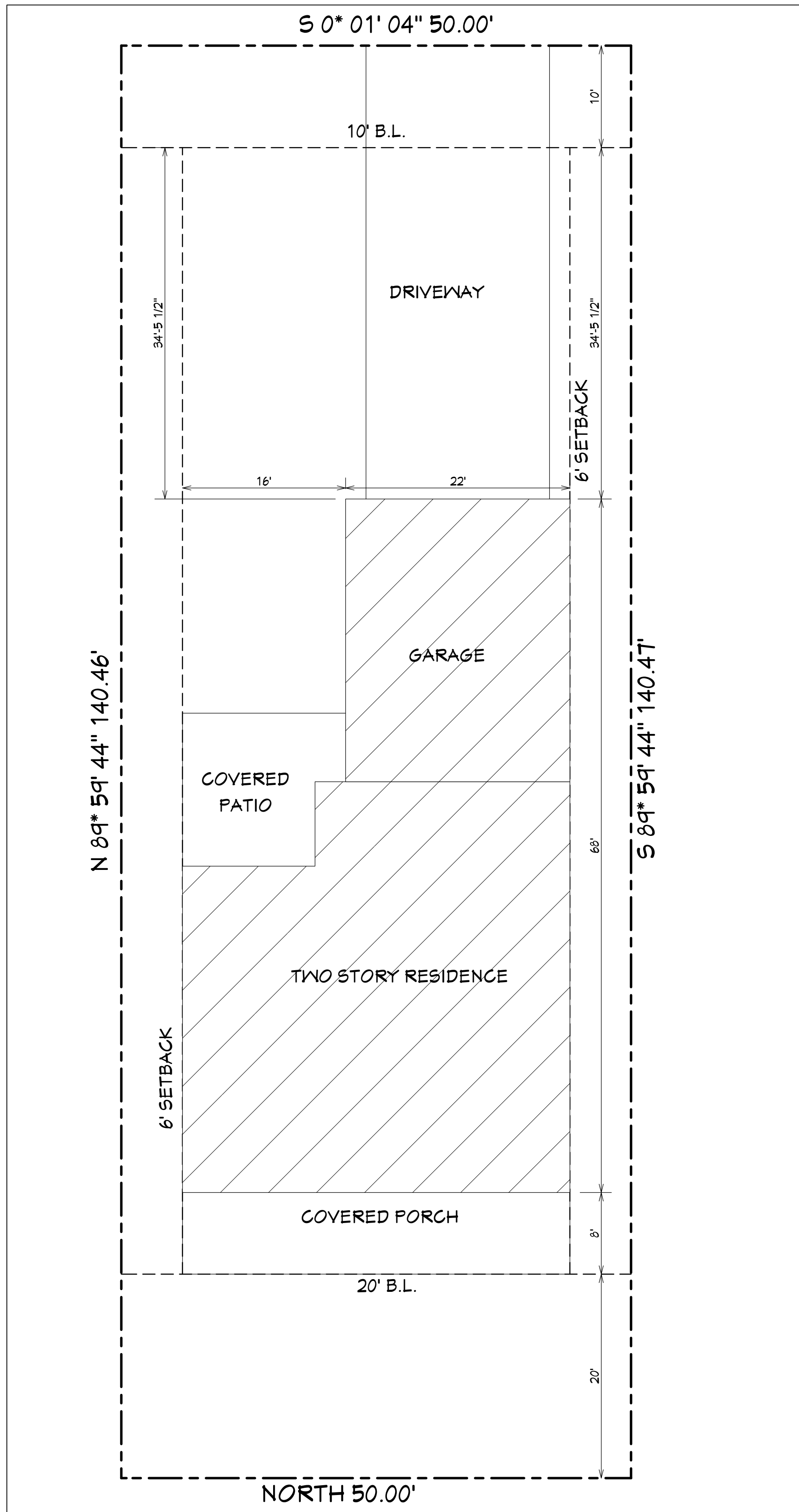


SYMBOL LEGEND				
⊙	⊗	⊕	⊖	⊚
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
⊠	⊡	⊗	⊙	⊚
ELEC. METER	ELEC. BOX	WATER METER	LP LIGHT POLE	1/2" IRS IRON ROD FOUND IN CORNER
⊗	⊡	⊗	⊚	⊚
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

SURVEY DATE OCTOBER 1, 2018
 SCALE 1" = 30' FILE # 20180297-9
 CLIENT WARDELL GF # 188487-10GH

H.D. Fetty Land Surveyor, LLC

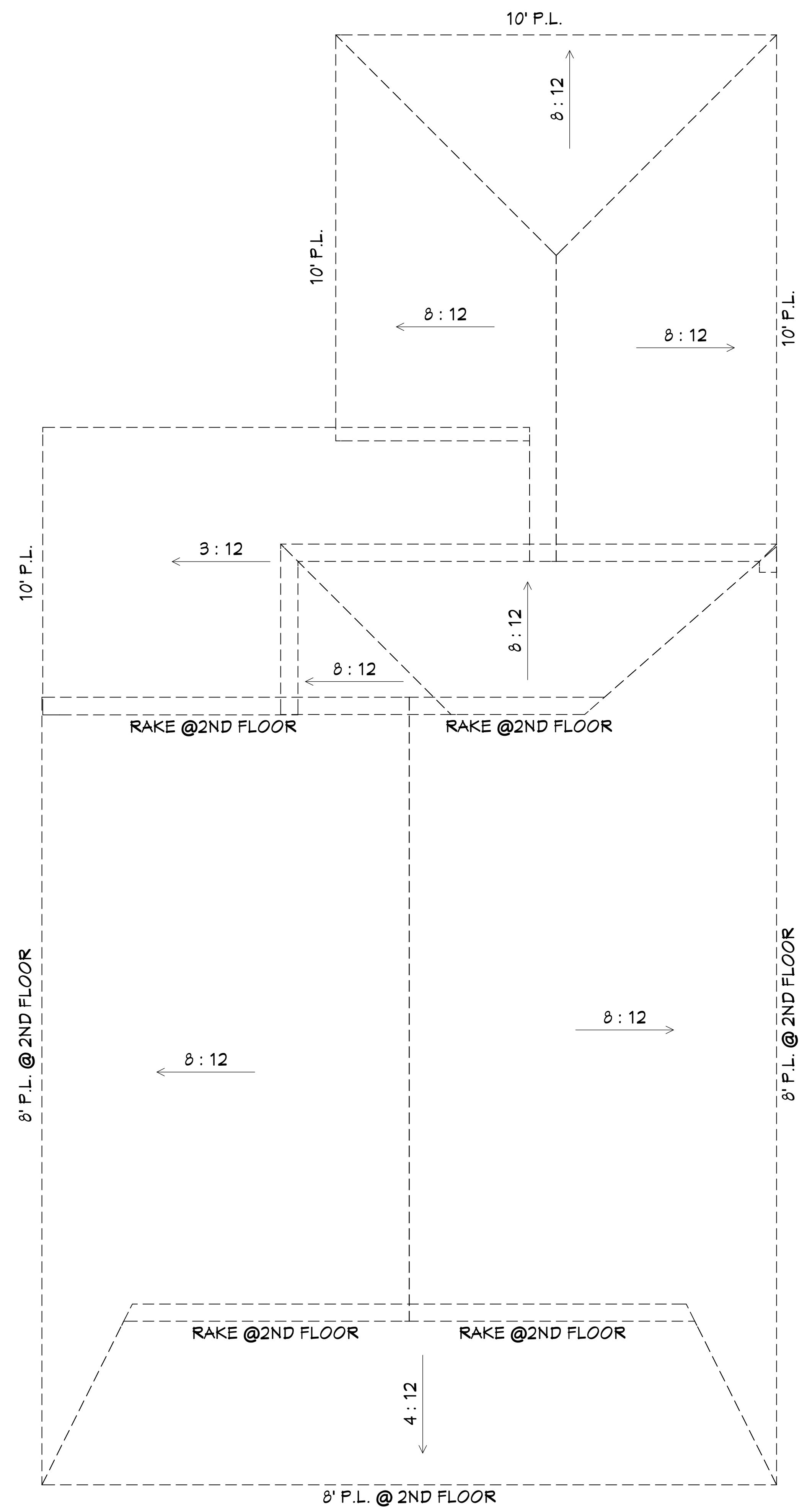
Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



1 SITE PLAN

SCALE: 1/8"=1'

- NOTE:
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



2 ROOF PLAN

SCALE: 1/4"=1'

PLANS FOR:
 BARRON RESIDENCE
 SCOTT AND SHEYANN BARRON
 104 PARKS AVENUE
 ROCKWALL, TEXAS 75087

TITLE:
 SITE PLAN / ROOF PLAN

SHANNON NENSON MARK NENSON
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-338-9863
 DRAWN BY:

DATE:
 4/29/2021

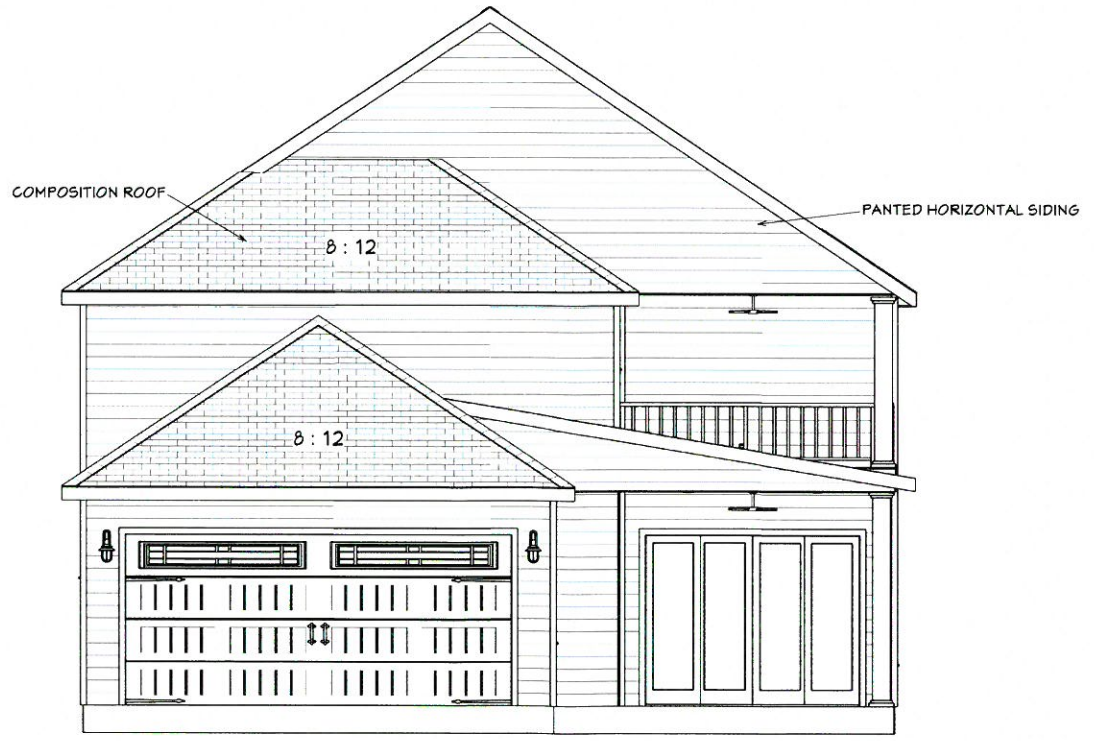
SCALE:
 AS SHOWN

SHEET:

A-2



① **FRONT ELEVATION**
SCALE: 1/4"=1'



② **REAR ELEVATION**
SCALE: 1/4"=1'

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEVANN BARRON
704 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
FRONT AND REAR ELEVATIONS

SHANNON NEWBOM MARK NEWBOM
GADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
1/25/2021

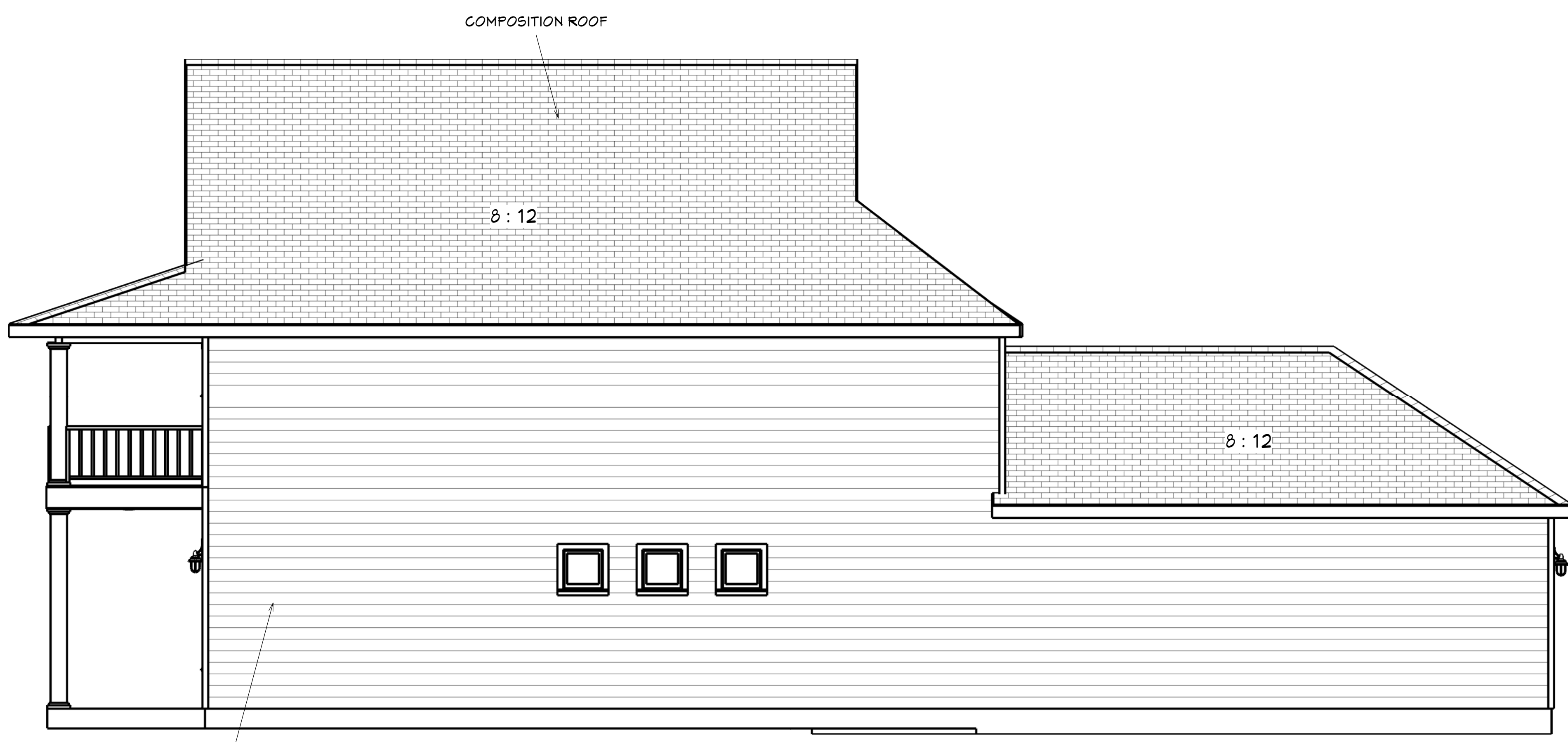
SCALE:
AS SHOWN

SHEET:

A-3



1 LEFT ELEVATION
SCALE: 1/4"=1'



2 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEYANN BARRON
104 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
LEFT AND RIGHT ELEVATIONS

SHANNON NEWSOM MARK NEWSOM
DRAWN BY:
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863

DATE:
4/29/2021

SCALE:
AS SHOWN

SHEET:

A-4

BARRON RESIDENCE



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title	Description	Comments
A-1	COVER SHEET		
A-2	SITE PLAN / ROOF PLAN		
A-3	FRONT AND REAR ELEVATIONS		
A-4	LEFT AND RIGHT ELEVATIONS		
A-5	FLOOR PLAN W/ DIMENSIONS		
A-6	DOOR & WINDOW SCHEDULE		
A-7	ELECTRICAL PLAN		

PLANS FOR:
BARRON RESIDENCE
SCOTT AND SHEYANN BARRON
704 PARKS AVENUE
ROCKWALL, TEXAS 75087

TITLE:
COVER SHEET

SHANNON NENSON
MARK NENSON
GADAZIGN
ROYSE CITY, TEXAS 75189
469-336-4863
DRAWN BY:

DATE:
1/25/2021

SCALE:
AS SHOWN

SHEET:

A-1

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
601 Parks Avenue	Single-Family Home	1929	2,264	N/A	Brick
602 Parks Avenue	Single-Family Home	1940	2,192	360	Siding
604 Parks Avenue	Single-Family Home	1955	1,873	480	Brick
605 Parks Avenue	Single-Family Home	1948	1,759	400	Siding
606 Parks Avenue	Single-Family Home	1990	1,468	100	Siding
610 Parks Avenue	Single-Family Home	2020	2,727	N/A	Siding
701 Parks Avenue	Single-Family Home	1980	1,269	240	Brick
702 Parks Avenue	Single-Family Home	2020	3,636	N/A	Siding
703 Parks Avenue	Single-Family Home	1990	960	240	Siding
704 Parks Avenue	RCAD Indicates Vacant		Subject Property		
706 Parks Avenue	Single-Family Home	1981	1,087	100	Brick
707 Parks Avenue	Single-Family Home	1995	946	255	Siding
708 Parks Avenue	Single-Family Home	1985	1,361	120	Brick
709 Parks Avenue	Single-Family Home	1992	1,081	160	Siding
711 Parks Avenue	Single-Family Home	1975	1,164	100	Siding
712 Parks Avenue	Single-Family Home	1961	1,120	N/A	Brick
714 Parks Avenue	Single-Family Home	1981	1,361	N/A	Brick
Averages:		1978	1,642	240	



601 Parks Avenue



602 Parks Avenue



604 Parks Avenue



605 Parks Avenue



606 Parks Avenue



610 Parks Avenue



701 Parks Avenue



702 Parks Avenue



703 Parks Avenue



706 Parks Avenue



707 Parks Avenue



708 Parks Avenue



709 Parks Avenue



711 Parks Avenue



712 Parks Avenue



714 Parks Avenue

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.16-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Michael Morgan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.16-acre parcel of land being described as Lot 9, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 704 Parks Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Location Map and Survey

Address: 704 Parks Avenue

Legal Description: Lot 9, Block D, Foree Addition

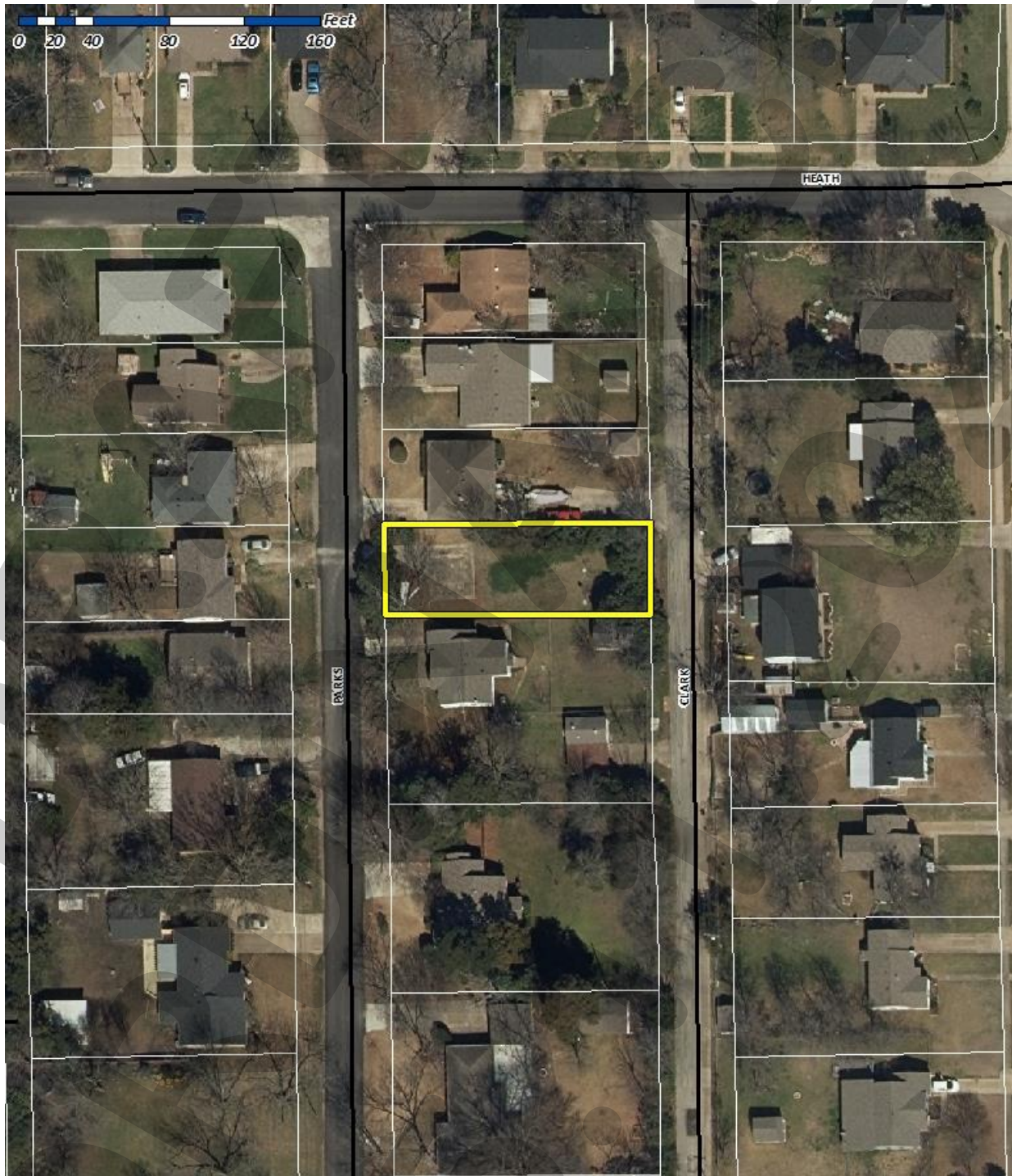


Exhibit 'B':
Residential Plot Plan
 S 0° 01' 04" 50.00'

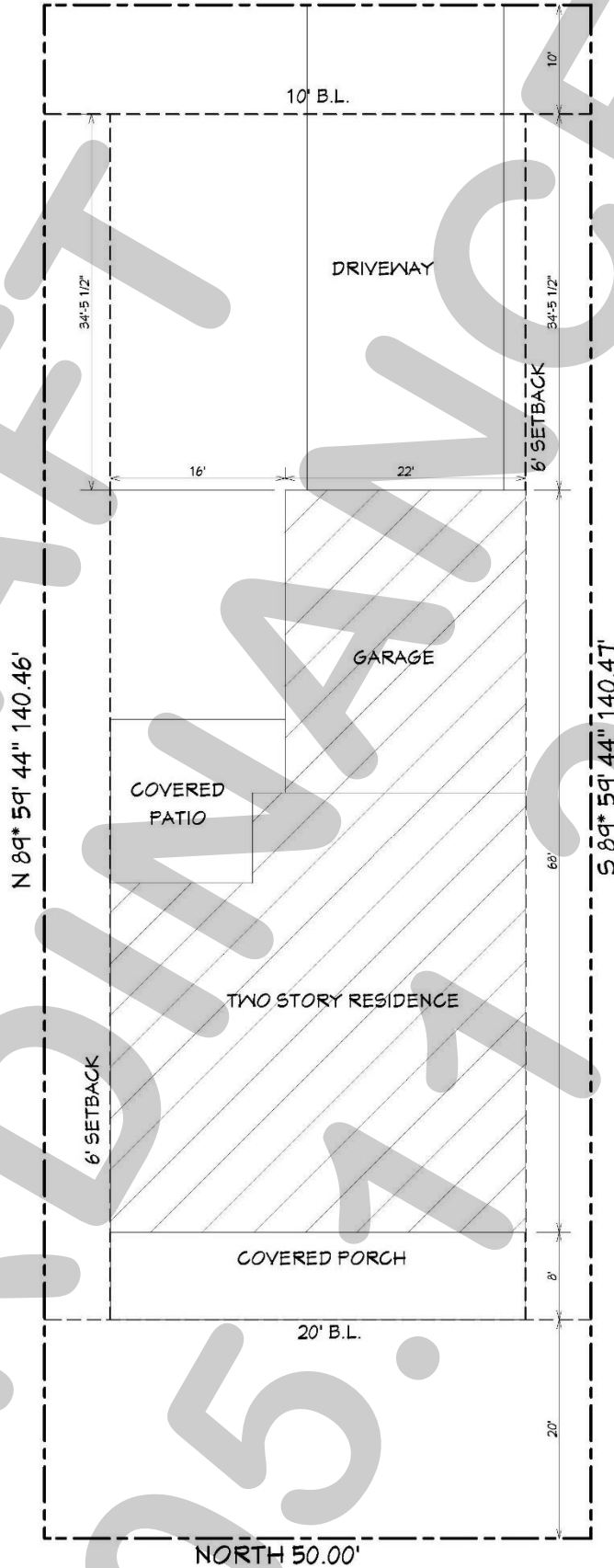


Exhibit 'C':
Building Elevations



PANTED HORIZONTAL SIDING

1 FRONT ELEVATION
SCALE: 1/4"=1'



COMPOSITION ROOF

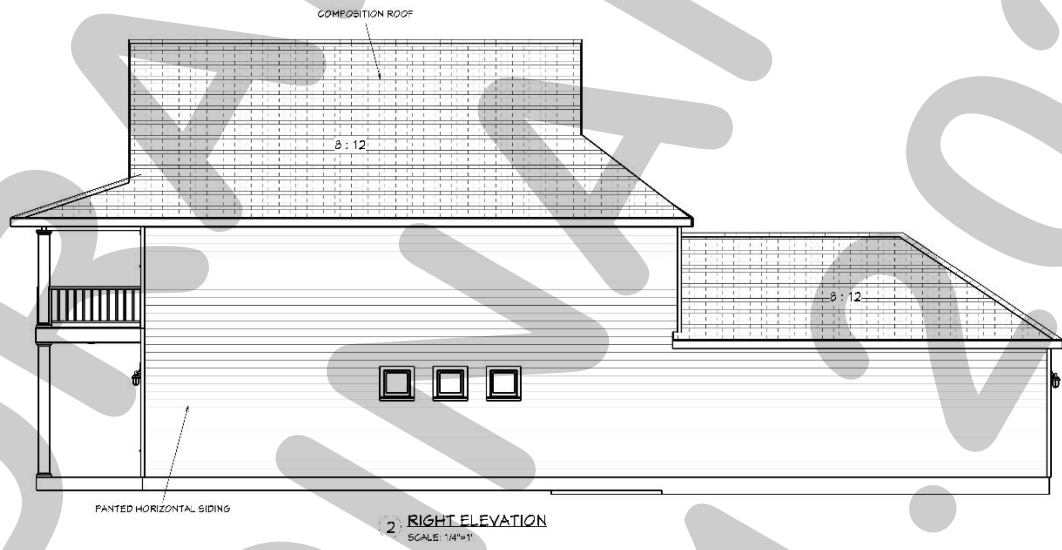
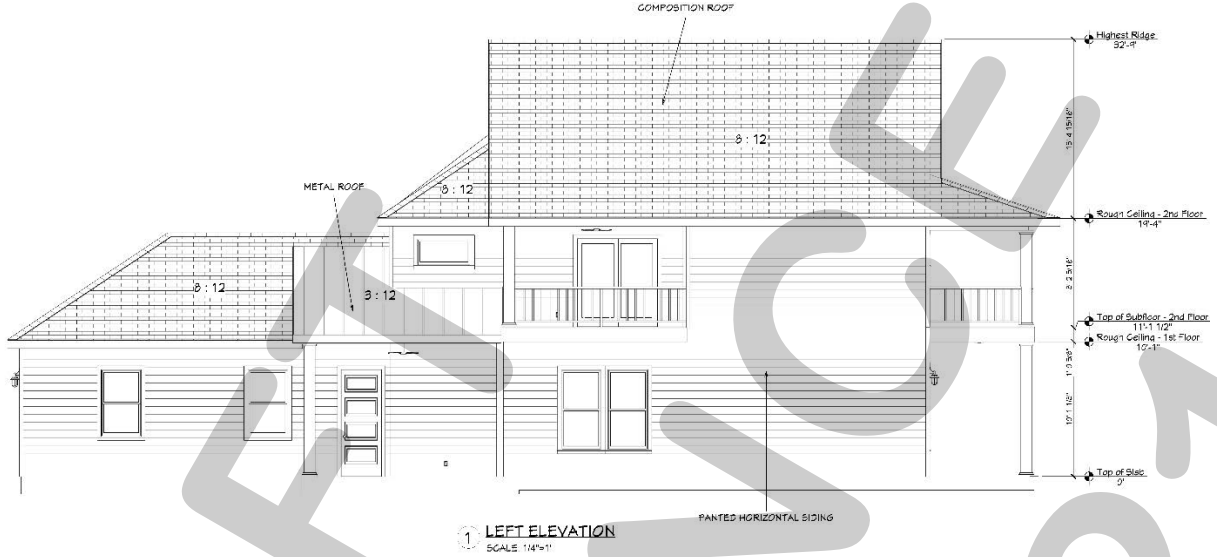
8 : 12

PANTED HORIZONTAL SIDING

8 : 12

2 REAR ELEVATION
SCALE: 1/4"=1'

**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Mark Klecha
CASE NUMBER: Z2021-010; *Specific Use Permit for an Accessory Building at 1748 Lake Breeze Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 20-34* and allowing an accessory building that does not conform to *S-231 [Ordinance No. 20-34]* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on February 6, 1961 by *Ordinance No. 61-02*. According to the City's historic zoning maps the subject property was zoned Multi-Family 1 (MF-1) District as of January 3, 1972. By May 16, 1983, this designation had changed to Planned Development District 11 (PD-11) [*Ordinance No. 80-13*] for Single-Family 2 (SF-2) District land uses. On June 7, 1993, *Ordinance No. 93-11* changed the designation of the subject property within Planned Development District 11 (PD-11) to an area designated for Single-Family 10 (SF-10) District land uses [*Case No. PZ1993-020-01*]. The subject property was platted as Lot 6, Block O, Hillcrest Shores Addition on August 12, 1993 by *Case No. PZ1993-030-01*. According to the Rockwall Central Appraisal District (RCAD), situated on the subject property is a 2,649 SF single-family home that was constructed in 1995.

On July 16, 2020, the applicant -- *Mark Klecha* -- submitted an application requesting a Specific Use Permit (SUP) [*Case No. Z2020-030*] for an accessory building that was to exceed the maximum permissible size for an accessory structure. This application was required by the Building Inspections Department after the applicant began constructing a fence, concrete slab and retaining wall without receiving the proper building permits. Staff should note that the applicant did request the building permits [*i.e. BLD2020-0824, BLD2020-0951, BLD2020-0952, and RES2020-1870*], but commenced construction prior to being issued the approved building permits. The proposed accessory building was approved by the City Council on September 8, 2020 [*i.e. Ordinance No. 20-34, SUP No. S-231*] and allowed the construction of an accessory building that exceeded the maximum permissible size by 215 SF. As part of this approval, the applicant agreed to adhere to the following operational conditions, which were approved by the City Council and incorporated into the Specific Use Permit (SUP) ordinance: [1] the accessory building was to conform to the conceptual building elevations, [2] the accessory building was to be a maximum size of 360 SF, and [3] the applicant would only be permitted to have one (1) accessory building on the property. In addition, the applicant also agreed to: [1] remove existing accessory structure on the subject property, and [2] provide a letter from a structure engineer certifying that the recently built retaining wall was built to hold the weight of the accessory building, and that the retaining wall posed no structural risk to the existing three (3) foot retaining wall on the adjacent property. Staff should note that Mr. Klecha did remove the accessory building and provide the requested engineers letter.

Following the approval of the Specific Use Permit (SUP), the applicant was issued a building permit [*i.e. Permit No. RES2020-1870*] on October 26, 2020. The approved building permit (*provided in the attached packet*) specifically stated the applicable construction codes required to build the accessory building, minimum separation from other structures, maximum height for accessory buildings, and the minimum setbacks required for the construction of the accessory building. Additionally, the building permit included a statement that stated that the "... building is to be built per approved plans from the Planning & Zoning Commission & City Council ... ", and included a copy of the approved site plan and building elevations for reference. These were the same plans that were provided by Mr. Klecha, and that were incorporated into the Specific Use Permit (SUP)

ordinance [i.e. Ordinance No. 20-34]. A copy of the approved ordinance was also sent to Mr. Klecha with the approval letter from the Specific Use Permit (SUP) case.

Upon inspection of the accessory building by Building Inspection Department, it was noted that the accessory building was not built in compliance with the approved building permit or Specific Use Permit (SUP) ordinance. Specifically, the building inspector noted that the accessory building exceeded the maximum height requirements of 15-feet, a second floor had been incorporated into the structure increasing the square footage of the building, and the building elevations were different from the approved building elevations. In addition, Mr. Klecha had constructed a temporary accessory building on the east side of the property attached to the primary structure. Based on these improvements, the Building Inspector issued Mr. Klecha a *Stop Work Order*, referred him back to the Planning Department, and instructed him to file an application to amend his Specific Use Permit (SUP). Mr. Klecha was also told that he would have to remove the unpermitted accessory building on the east side of the subject property, which was completed prior to the Planning and Zoning Commission Work Session meeting on April 27, 2020.

PURPOSE

The property owner and applicant -- *Mark Klecha* -- is requesting the approval of a Specific Use Permit (SUP) that would [1] supersede *Ordinance No. 20-34* [i.e. *SUP No. S-231*] and [2] allow a two (2) story accessory building that exceeds the maximum permissible height and square footage stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1748 Lake Breeze Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an alleyway followed by the remainder of the Hillcrest Shores Subdivision, which consists of 67 single-family residential homes on 22.17-acres. Beyond this is Bayhill Drive, which is identified as a R2 (i.e. *residential, two [2] lane, roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown 2040 Vision Comprehensive Plan. North of this roadway is the Hillcrest Shores, Phase 2 Subdivision, which consists of 113 single-family residential homes on 53.24-acres. All of these properties are zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is Lake Breeze Drive, which is identified as a R2 (i.e. *residential, two [2] lane, roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of the Hillcrest Shores Subdivision. South of this is the Northshore, Phase 2B Subdivision, which consists of 76 single-family residential homes on 25.04-acres. This subdivision is zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the remainder of the Hillcrest Shores Subdivision followed by N. Lakeshore Drive, which is identified as a M4D (i.e. *major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This area is zoned Planned Development District 11 (PD-11) for Single Family 10 (SF-10) District land uses. Beyond this is the Preserve, Phase 2 Subdivision, which consists of 82 single-family residential lots on 33.02-acres. This property is zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is the remainder of the Hillcrest Shores Subdivision, which is zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District. Beyond this is the *Lake Ray Hubbard Takeline* followed by the corporate limits of the City of Rockwall. Beyond this is Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and updated drawings requesting to permit an existing 570 SF (i.e. 330 SF first floor and 240 SF second floor) accessory building. Per the drawings provided by the applicant (and the pictures taken by the Building Inspections Department) the accessory building has a pitched/shed roof, and stands a total of 16-feet, 6-inches in height. The exterior of the accessory building is clad in a composite siding (i.e. *smart siding*), and the roof is constructed with

a composite shingle similar to that of the primary structure. The proposed building is situated on the side of the property, adjacent to the western property line, behind an existing eight (8) foot board-on-board wood fence.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. In addition, accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request does not conform to the Specific Use Permit [*i.e. Ordinance No. 20-34, SUP No. S-231*] that was approved by the City Council on September 8, 2020, nor the building permit [*i.e. Permit No. RES2020-1870*] that was issued to Mr. Klecha. The applicant has exceeded the maximum height for an accessory structure by one (1)-foot, six (6)-inches (*i.e. 16'6" Overall Height*), has increased the allowable square footage by 210 SF (*i.e. Total Square Footage = 570 SF*), and has added a second floor to the accessory structure. It should be noted that according to Subsection 07.04(9), *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)wo (2) story accessory buildings or structures shall be prohibited." Approval of this request would effectively revoke *Ordinance No. 20-34 [i.e. SUP No. S-231]* and establish operational conditions consistent with what was actually constructed by the applicant. With this being said, the approval of this Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff should note that the Planning and Zoning Commission and City Council have the ability to [1] approve the request, [2] deny the request (which would require the applicant to modify the building to conform to the current Specific Use Permit [SUP] ordinance), or [3] deny the request and direct staff to begin revocation of the existing Specific Use Permit (SUP) ordinance (which would require the applicant to remove the structure). Regardless of the Planning and Zoning Commission and City Council's action the applicant will need to modify the structure to remove the connection of the roofline to the fence, and to also conform to the International Building Code (IBC) -- *which it currently does not conform.*

NOTIFICATIONS

On April 27, 2021, staff mailed 96 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Hillcrest at the Shores and the Preserve Homeowner's Associations (HOA's), which are the only HOA/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Two (2) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) One (1) property owner notification from property owners within the notification area (*i.e. within the 500-foot buffer*) in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to revoke *Ordinance No. 20-34* and approve Specific Use Permit (SUP) for a two (2) story accessory building exceeds the maximum permissible size and height for accessory buildings, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
 - (b) The *Accessory Building* shall not exceed a maximum size of 570 SF (i.e. 330 SF – 1st floor & 240 SF – 2nd floor).
 - (c) The *Accessory Building* shall not exceed a height of more than 16-feet, 6-inches.
 - (d) The *Accessory Building* shall not be used as a guest quarters/secondary living unit.
 - (e) The subject property shall not have more than one (1) accessory building.
- (2) The applicant will be required face the existing smooth face concrete retaining wall in rock or stone.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING ZONING CASE NO. 22021-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1748 LAKE BREEZE DR.

SUBDIVISION Hillcrest Shores

LOT 6 BLOCK 0

GENERAL LOCATION 1748 Lake Breeze

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-11

CURRENT USE Residential

PROPOSED ZONING _____

PROPOSED USE Residential

ACREAGE 0.2297

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MARK KLECHA

APPLICANT SAME

CONTACT PERSON

CONTACT PERSON

ADDRESS 1748 LAKE BREEZE DR.

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE (402) 315-8387

PHONE

E-MAIL markklecha@hotmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

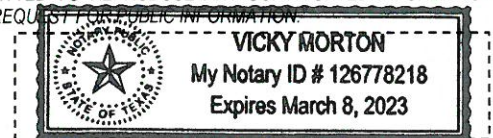
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARK KLECHA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

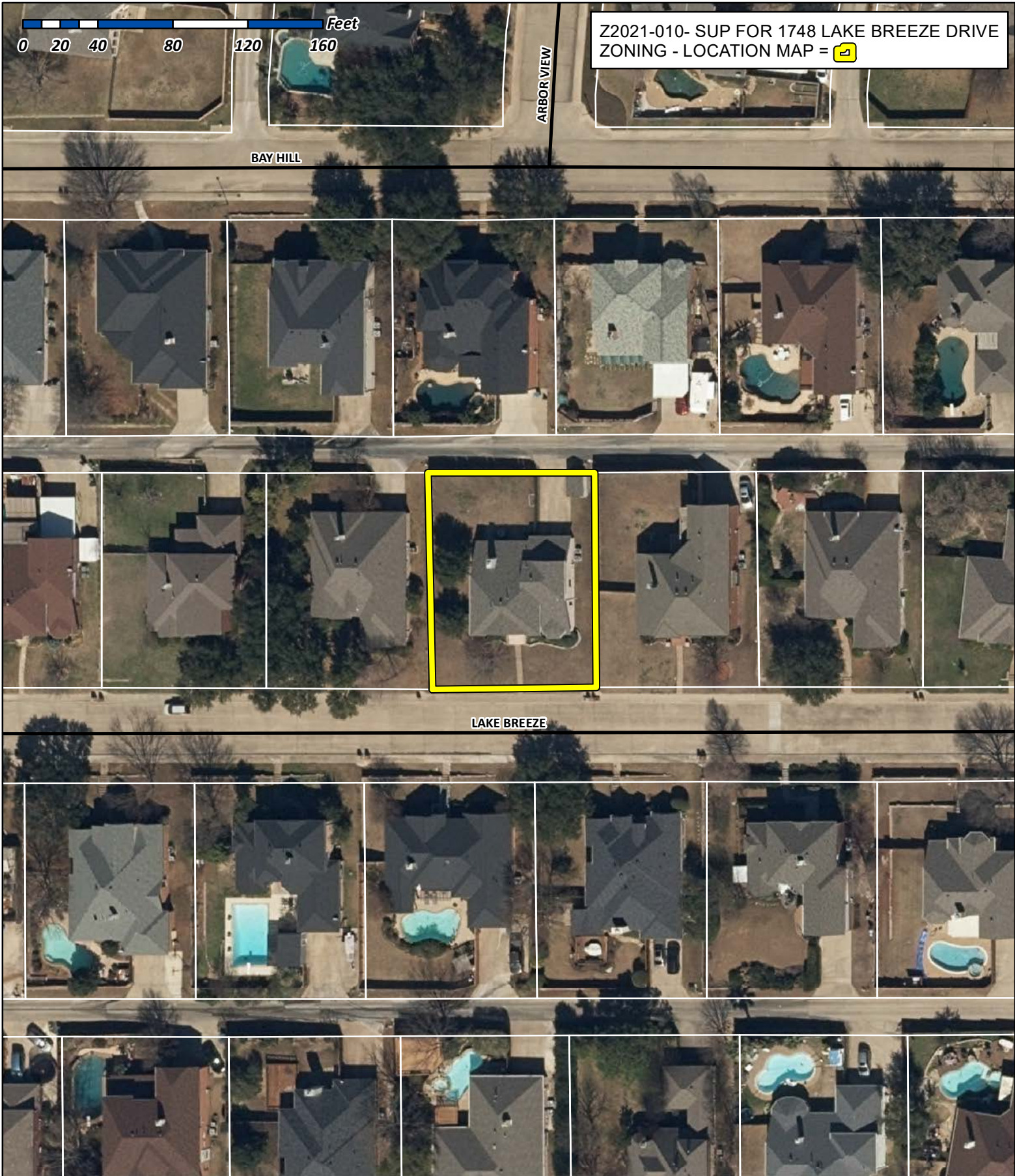
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF April, 20 21

OWNER'S SIGNATURE Mark Klecha

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Vicky Morton



MY COMMISSION EXPIRES March 8, 2023



Z2021-010- SUP FOR 1748 LAKE BREEZE DRIVE
ZONING - LOCATION MAP = [location pin icon]

0 20 40 80 120 160 Feet

ARBOR VIEW

BAY HILL

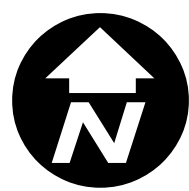
LAKE BREEZE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

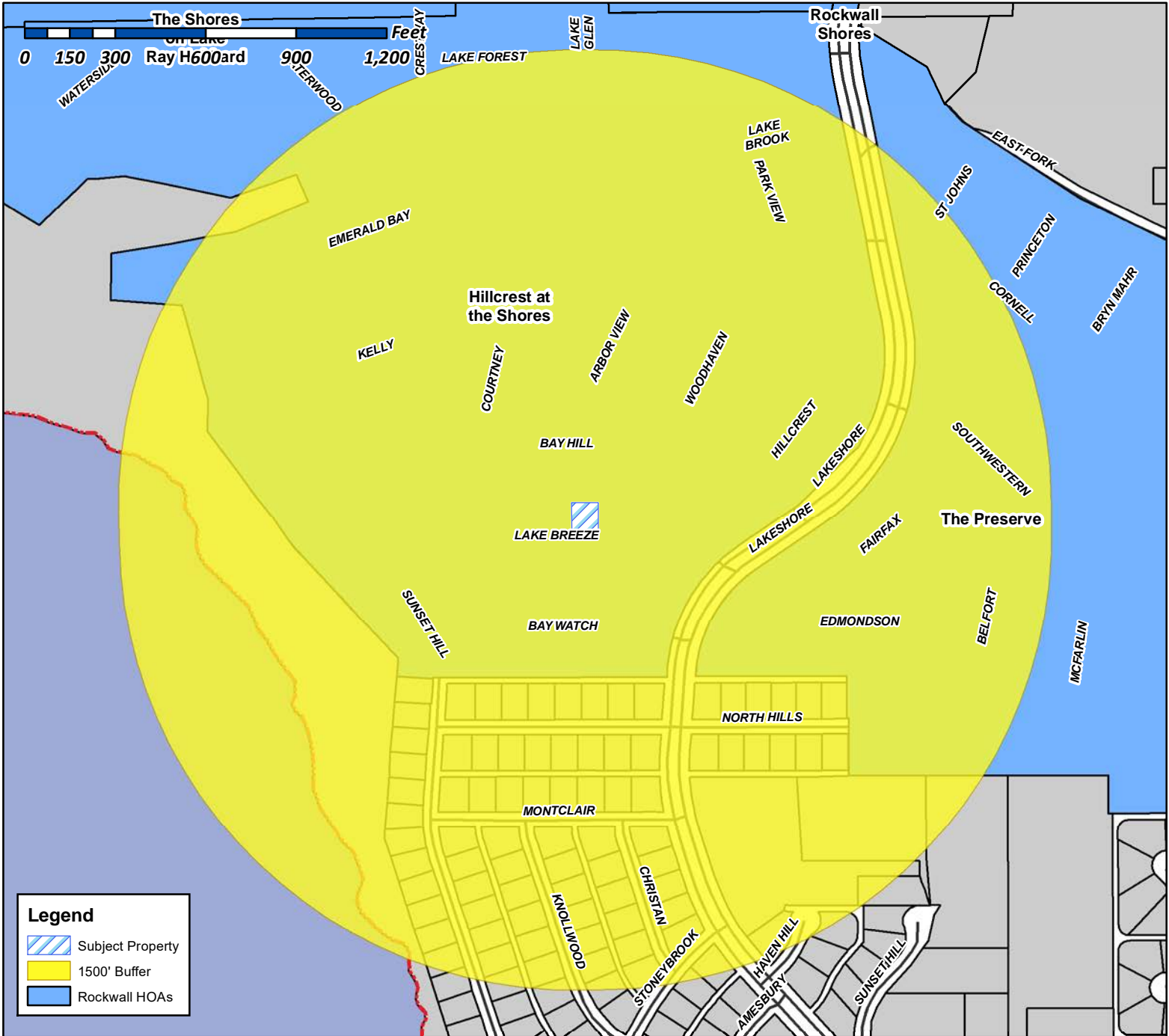




City of Rockwall

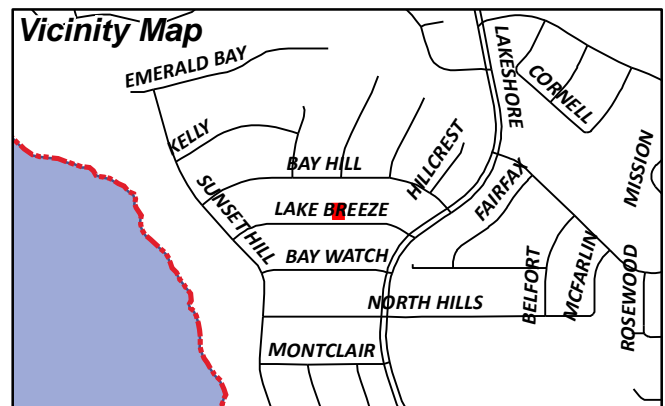
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-010
Case Name: SUP for Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 4/16/2021
For Questions on this Case Call (972) 771-7745



Gonzales, David

From: Gamez, Angelica
Sent: Friday, April 23, 2021 3:34 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-010]
Attachments: Public Notice (04.27.2021).pdf; HOA Map Z2021-010.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *April 23, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, May 11, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, May 17, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-010 SUP for Accessory Structure

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a *Specific Use Permit (SUP)* superseding *Ordinance No. 20-34* and allowing an accessory building that does not conform to *S-231 [Ordinance No. 20-34]* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

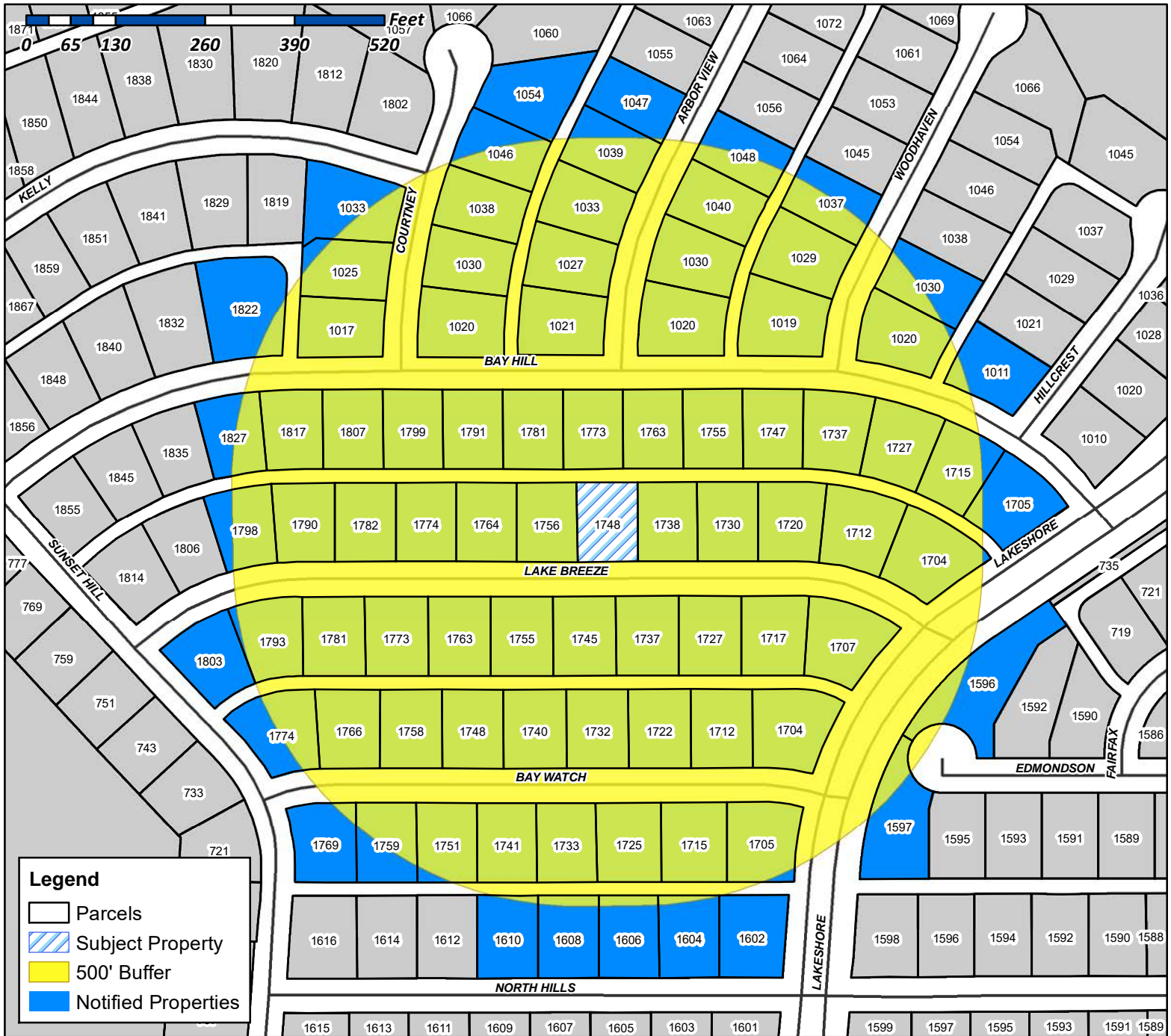
<http://www.rockwall.com/planning/>



City of Rockwall

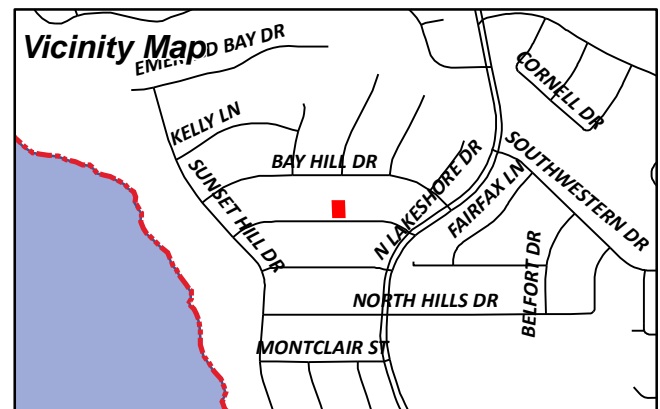
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-010
Case Name: SUP for Accessory Structure
Case Type: Zoning
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 4/16/2021
For Questions on this Case Call (972) 771-7745



 = RESPONSE RECEIVED

MATHIAS ERIC J & ROBIN A
1011 HILLCREST CIR
ROCKWALL, TX 75087

ANDERSON SALLY LESIL & STEVE
1017 COURTNEY CIRCLE
ROCKWALL, TX 75087

BAUCHMAN NANCY
1019 WOODHAVEN CIR
ROCKWALL, TX 75087

DORN KEITH
1020 ARBOR VIEW PL
ROCKWALL, TX 75087

SANDMAN DAVID & VALERIE
1020 COURTNEY CIR
ROCKWALL, TX 75087

HAUER MELVIN C & VIRGINIA L
1020 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

LOGAN WINFRED BART & TRACEY
1021 ARBOR VIEW PL
ROCKWALL, TX 75087

MAURHOFF MARGARET L AND
MICHAEL J VEREB
1025 COURTNEY CIRCLE
ROCKWALL, TX 75087

WEBER MATTHEW J AND THERESA M
1027 ARBOR VIEW PL
ROCKWALL, TX 75087

HOVERMAN BRYAN AND KELLIE
1029 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

BENAVIDES RAPHAEL G & MARY A
1030 ARBOR VIEW PL
ROCKWALL, TX 75087

MULLINAX STEVE WAYNE & DEBBIE S
1030 COURTNEY CIR
ROCKWALL, TX 75087

CORRIGAN DERRICK & STEFANIE
1030 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

ABRAMSKY SAMUEL & CHRISTI
1033 ARBOR VIEW PL
ROCKWALL, TX 75087

FLEMING ERIC AND DEIDRE
1033 COURTNEY CIR
ROCKWALL, TX 75087

WARD PATRICK C
1037 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

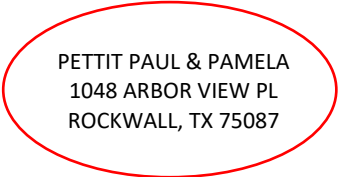
BEATY SUSAN J
1038 COURTNEY CR
ROCKWALL, TX 75087

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO., LTD
1039 ARBOR VIEW PL
ROCKWALL, TX 75087

MAY RICHARD A & LISA A
1040 ARBOR VIEW PL
ROCKWALL, TX 75087

SMETANA JOSEPH JR & ANGEL P
1046 COURTNEY CIR
ROCKWALL, TX 75087

RESTER J TREVER & MICHELLE
1047 ARBOR VIEW PL
ROCKWALL, TX 75087

 PETTIT PAUL & PAMELA
1048 ARBOR VIEW PL
ROCKWALL, TX 75087

WRIGHT LARRY G & JENNIFER
1054 COURTNEY CIRCLE
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1514 MALLARD HVN
SAN ANTONIO, TX 78260

LAGRANGE DONALD AND AMY C
1596 EDMONDSON TRAIL
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
1602 NORTH HILLSDR
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

SIMS DAVID E AND ANITA L
1704 LAKE BREEZE DR
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

RYAN JEFFREY & DARLA
1705 BAYHILL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1707 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PAULSEN LOGAN & BRANDI A
1712 BAY WATCH DRIVE
ROCKWALL, TX 75087

VAUGHN STEPHEN MICHAEL
1712 LAKE BREEZE DR
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

REPMAN MARK &
MICHELLE BASTIDAS
1715 BAYHILL DR
ROCKWALL, TX 75087

TAYLOR MICHAEL JOSEPH JR AND HEATHER L
1717 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PEDDIE STACIE
1720 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

KEETON KENNETH W & REBECCA
1722 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

VILLARREAL GLORIA M & JOSE C
1727 BAY HILL DR
ROCKWALL, TX 75087

KETON JAMES H & JEANNETTE S
1727 LAKE BREEZE DR
ROCKWALL, TX 75087

HIGGINS BRADLEY STEPHEN AND
AMANDA JO BURT HIGGINS
1730 LAKE BREEZE DR
ROCKWALL, TX 75087

BREEN ROBERT AND LAURA
1732 BAY WATCH DR
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LOCKWOOD CHARLES DOUGLAS
1737 BAYHILL DR
ROCKWALL, TX 75087

BOWEN RONALD L & DEANNA K
1737 LAKE BREEZE DR
ROCKWALL, TX 75087

BYROM JOHNNY R & LYNETTE
1738 LAKE BREEZE DR
ROCKWALL, TX 75087

TUBBS LAJUAN C
1740 BAY WATCH DR
ROCKWALL, TX 75087

LANZONE FAMILY LIVING TRUST
CHRIS A LANZONE AND DIANE M LANZONE-
TRUSTEES
1741 BAY WATCH DRIVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

PHILLIPS JACOB AND CAREEN NAKHLEH
1747 BAYHILL DRIVE
ROCKWALL, TX 75087

HARRINGTON VIOLET A
1748 BAYWATCH DR
ROCKWALL, TX 75087

KLECHA MARK AND ANGELA
1748 LAKE BREEZE DR
ROCKWALL, TX 75087

AKARD ARTHUR F & DANA D
1751 BAY WATCH DR
ROCKWALL, TX 75087

THOMPSON RONALD G & CAROLYN E
1755 BAYHILL DR
ROCKWALL, TX 75087

BARKER MARK A
1755 LAKE BREEZE DR
ROCKWALL, TX 75087

BOONE WILLIAM R JR & KYOKO N
1756 LAKE BREEZE DR
ROCKWALL, TX 75087

OH SINEUI
1758 BAY WATCHDR
ROCKWALL, TX 75087

WITTIG MILTON G & CYNTHIA J
1759 BAY WATCH DR
ROCKWALL, TX 75087

LOWNDES ROBERT
1763 BAYHILL DR
ROCKWALL, TX 75087

LONDON REV TR
1763 LAKE BREEZE DR
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
1764 LAKE BREEZE DR
ROCKWALL, TX 75087

RAY WILLIAM JACKSON AND DAWN MARIE
1766 BAY WATCH DRIVE
ROCKWALL, TX 75087

JACOBSON BRUCE ALLEN & MARGARET
1769 BAY WATCH DR
ROCKWALL, TX 75087

SMITH JAMES & JULIE
1773 BAYHILL DR
ROCKWALL, TX 75087

MEYN RICHARD B & CATHERINE
MEYN FAMILY TRUST
1773 LAKE BREEZE DR
ROCKWALL, TX 75087

HAMILTON DOUGLAS C & JANET K
1774 BAY WATCH DR
ROCKWALL, TX 75087

GUZMAN PATRICIA MARGARITA & THANH
NGUYEN HOANG
1774 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

MOORE KERMIT T & GWENDOLYN R
1781 BAYHILL DR
ROCKWALL, TX 75087

PERALES LIVING TRUST
1781 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

HOLCOMB RICHARD & KATHY
1782 LAKE BREEZE DR
ROCKWALL, TX 75087

CUTLER ELDON GEORGE & THALIA LONE
1790 LAKE BREEZE DR
ROCKWALL, TX 75087

BARBER TRUMAN JOSEPH & BARBARA
1791 BAYHILL DR
ROCKWALL, TX 75087

KING DOROTHY
1793 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

DAVENPORT JAMES & MARYBETH
1798 LAKE BREEZE DR
ROCKWALL, TX 75087

VESTAL JEANETTE & ALSON
1799 BAYHILL DR
ROCKWALL, TX 75087

Daniel R. Tapia
CRETI DANIEL AND MARTHA TRUST
1803 LAKE BREEZE DR
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
1807 BAY HILL DR
ROCKWALL, TX 75087

DAVIS JIMMY GOLAN AND TATIANA
KAPOUSTINA-DAVIS
1817 BAYHILL DRIVE
ROCKWALL, TX 75087

ARAKI YU
1822 BAY HILL DR
ROCKWALL, TX 75087

KHABAZ ALLEN BLEEDO
1827 BAYHILL DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

CUTLER ELDON GEORGE & THALIA LONE
40161 E 179TH STREET
KINGSVILLE, MO 64061

VILLARREAL GLORIA M & JOSE C
4914 W 106TH ST
OAK LAWN, IL 60453

OH SINEUI
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO., LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

ARAKI YU
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

CRETI DANIEL AND MARTHA TRUST
550 S SILVERADO WAY
ANAHEIM, CA 92807

BREEN ROBERT AND LAURA
661 JUSTIN RD
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
915 SUNSET HILL DRIVE
ROCKWALL, TX 75087

Case No. Z2021-010: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

ABUSE OF EXISTING CODE

Name: CATHERINE AND RICHARD MEYN

Address: 1773 LAKE BREEZE DR ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Case No. Z2021-010: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

DANIEL R. TAPIA

Address:

1803 LAKE BREEZE DR 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-010: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

If MARK KLECHA desires to build a large barn or storage shed he should re-locate out to a rural area. This would only serve to bring down our property values.

Name: PAUL PETTIT

Address: 1048 Arbor View Place

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FOREVER 2016

BUILDING WILL BE CONSTRUCTED USING 2x4 FRAMING (16" ON CENTER) WITH SMART SIDING OUTER PANELING.

THE ROOF WILL BE A METAL STANDING SEAM ROOF OVER OSB PLYWOOD SHEETING AND 3016 ROOFING FEET.

THE ROOF TRUSSES WILL BE CONSTRUCTED WITH A 2x12x15 LVL RIDGE BEAM AND 2x6 RAFTERS 16" ON CENTER USING RAFTER HANGERS.

THE STRUCTURE WILL CONNECT TO THE CONCRETE SLAB USING PRESSURE TREATED LUMBER AND $\frac{1}{2}$ " x 5" SLEEVE ANCHORS.

THE GARAGE DOOR WILL BE ROLL-UP WIND RATED DOOR (8'x7') AND THERE WILL BE A STANDARD 3'x7' EXTERIOR DOOR.

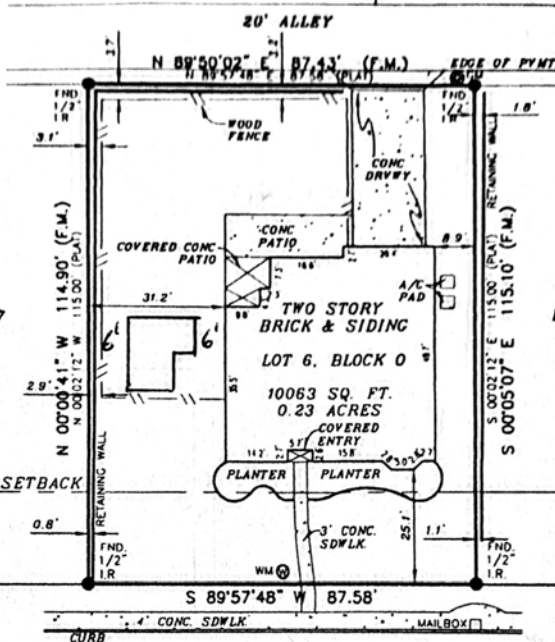
LOT 24

LOT 25

LEGEND

These standard symbols will be found in the drawing

- BOUNDARY LINE
- - - EASEMENT LINE
- · - · BUILDING SETBACK LINE
- · - · WOOD FENCE
- FOUND IRON ROD
- ⊙ GAS METER
- ⊙ WATER METER
- MAIL BOX
- (PLAT) RECORDED ON PLAT
- (F.M.) FIELD MEASURED



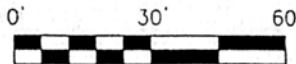
LAKE BREEZE DRIVE
(50' R.O.W.)

LEGAL DESCRIPTION
BEING LOT 6, BLOCK 0 OF HILLCREST SHORES,
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY,
TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN
CABINET C, SLIDE 199, PLAT RECORDS, ROCKWALL COUNTY,
TEXAS.

FLOOD INSURANCE NOTE By graphics plotting only,
this property is in ZONE X of the
Flood Insurance Rate Map, Community Panel No
48397C-0030 L, effective date of SEPTEMBER 26, 2008
Exact designations can only be determined by a
Elevation Certificate. Based on the above information,
this property is NOI in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
BASIS OF BEARING, RECORDED
PLAT UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas,
do hereby certify to HEXTER-FAIR TITLE COMPANY
and

that the above map is true and correct according to an actual field survey, made by me on the ground or
under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further
certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except
as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent
discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way
as of the date of the field survey. I further certify that this survey meets or exceeds the
minimum standards established by the Texas Board of Professional Land Surveying (Section 653.18).
Lot(s) 6, Block 0, N.C.B. ---, Survey No. ---, Abstract No. ---
Survey or Subdivision: HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL
Cabinet C, Slide(s) 199-200, of the Map/Deed and Plat Records of ROCKWALL County, Texas
Borrower/Owner: CHARLES M. HUSTON AND KENDALL HUSTON
Address: 1748 LAKE BREEZE DRIVE GP No. PL11619416

FINAL "AS-BUILT" SURVEY

JOB NO.	NO.	REVISION	DATE
1105006367			
DATE:	05/27/11		
DRAWN BY:	UN/HM		
APPROVED BY:	RJR		

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN
VOLUME 961, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS
VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS

PROPERTY PHOTOGRAPH

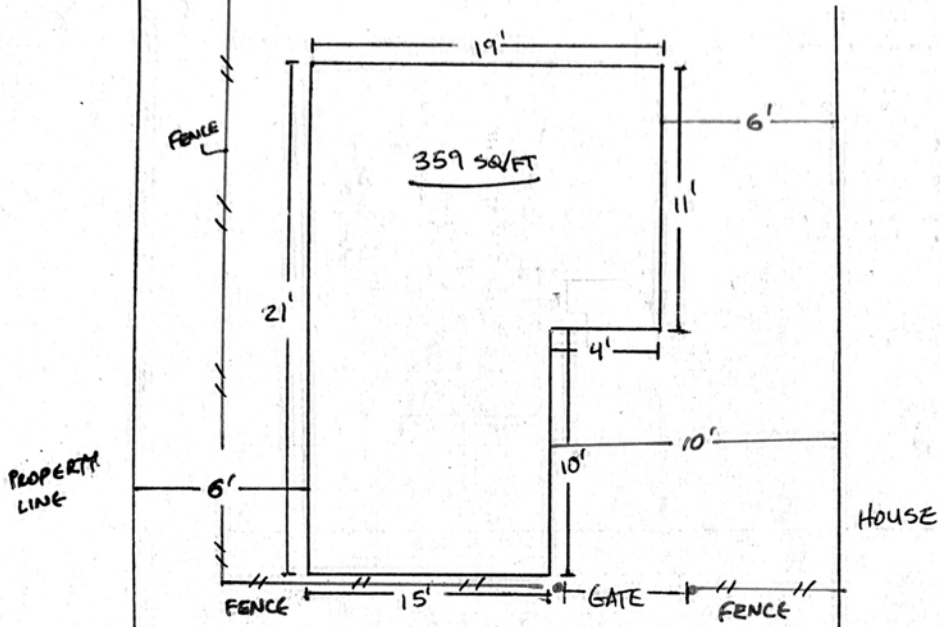


Roy Ronnfeldt
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520

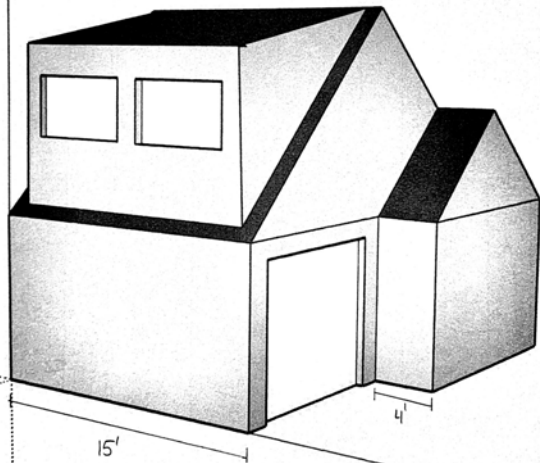
AMERISURVEYORS, LLC
11711 Warfield Road, San Antonio, Texas 78216
Phone: (214) 972-0066 Fax: (214) 968-9662

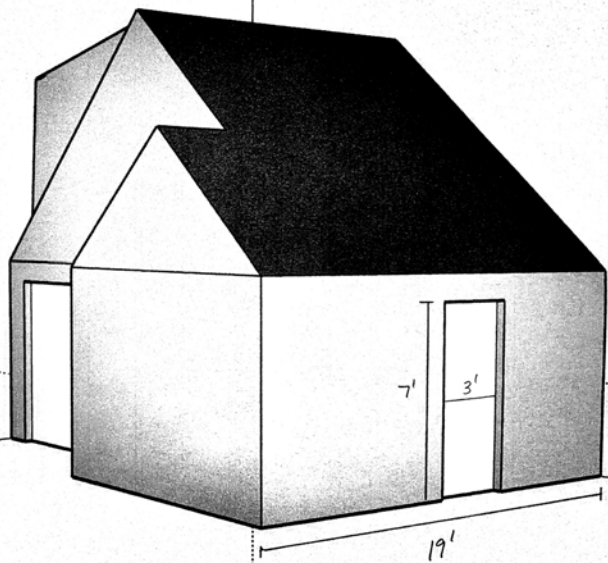
* NEW DESIGN DUE TO SET-BACK REQUIREMENTS.

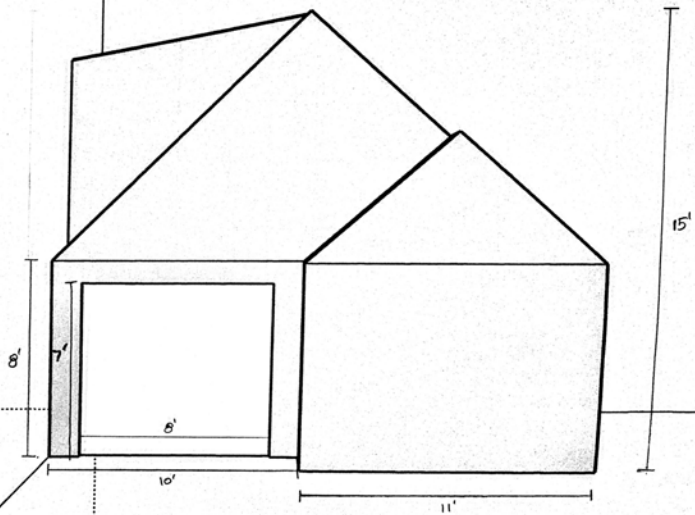
* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE CRAIG FOSHEE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.









1748



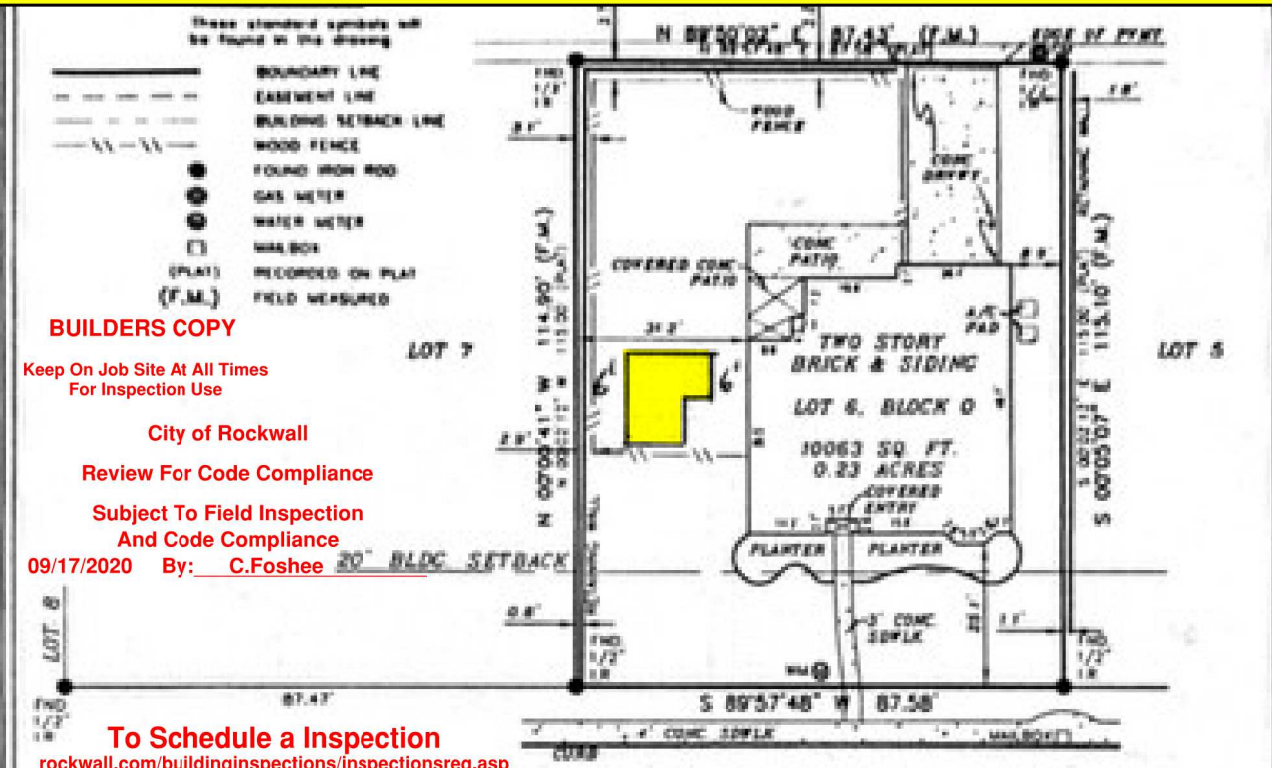




1748

CONSTRUCTION CODES – 2015 International Residential Code & 2014 NEC Code and local amendments. ELECTRICAL PERMIT WILL BE REQUIRED FOR ANY NEW INSTALLATIONS. Minimum separation from other structures 6 ft. Maximum height of structure 15 ft. Minimum side setback 6 feet. Minimum rear setback 3 feet. Building is to be built per approved plans from the Planning & Zoning Commission & City Council.

For inspection www.rockwall.com/buildinginspections/inspectionreq.asp.



BUILDERS COPY
 Keep On Job Site At All Times
 For Inspection Use
 City of Rockwall
 Review For Code Compliance
 Subject To Field Inspection
 And Code Compliance
 09/17/2020 By: C.Foshee

To Schedule a Inspection
rockwall.com/buildinginspections/inspectionsreq.asp



LAKE BREEZE DRIVE
 (50' R.O.W.)

All building setbacks are Measured from the property line

CODE COMPLIANCE SUBJECT TO FIELD INSPECTORS APPROVAL

LEGAL DESCRIPTION
 BEING LOT 6, BLOCK D OF HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 195, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE _____ of the Flood Insurance Rate Map, Community Panel No. 48000C 0000 L, effective date of SEPTEMBER 26, 2008. (Exact designations can only be determined by a Elevation Certificate. Based on the above information, this property is NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
 BASIS OF SCALING, RECORDED PLAT UNLESS OTHERWISE NOTED.



I, **ROY JOHN RONNFELDT**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **NEXTER-FAIR TITLE COMPANY** and that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown herein or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown herein and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 653.182) Lot(s) **D**, Block **D**, N.C.S. Survey No. Abstract No. Survey of Submission: **HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL** Cabnet **C**, Slide **195-202** of the Map/Deed and Plat Records of **ROCKWALL** County, Texas Borrower/Owner: **CHARLES N. HUSTON AND KENDALL HUSTON** Address: **1748 LAKE BREEZE DRIVE** of No. **PL101816**

FINAL "AS-BUILT" SURVEY

JOB NO.	NO.	REVISION	DATE
1100008387			
DATE:	05/27/11		
DRAWN BY:	MJ/WH		
APPROVED BY:	RJR		



SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN VOLUME 861, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS.



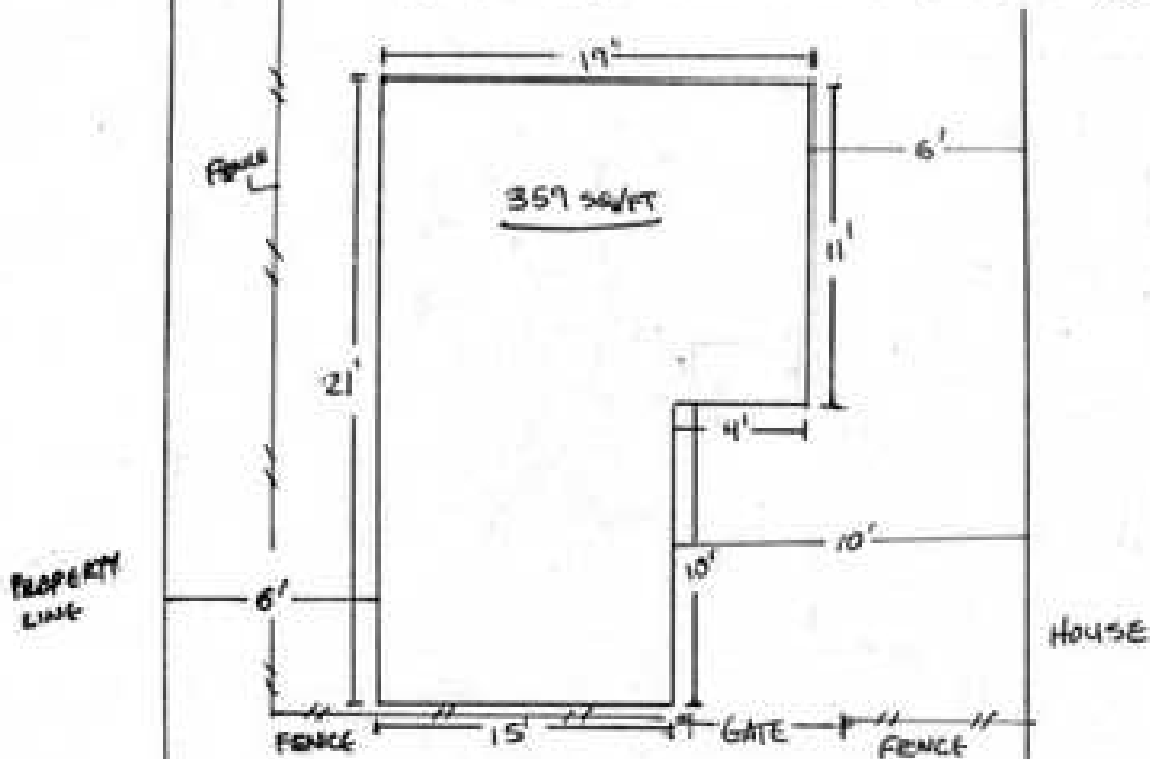
AMERISURVEYORS, LLC
 14714 International Road - San Antonio, Texas 78240
 Phone: (214) 477-9888 Fax: (214) 477-9888

7-14-11

Roy Ronnfeldt
ROY JOHN RONNFELDT, R.P.L.S.
 Registered Professional Land Surveyor
 Registration No. 3520

* NEW DESIGN DUE TO SET-BACK REQUIREMENTS -

* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE LEAD FENCE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION -

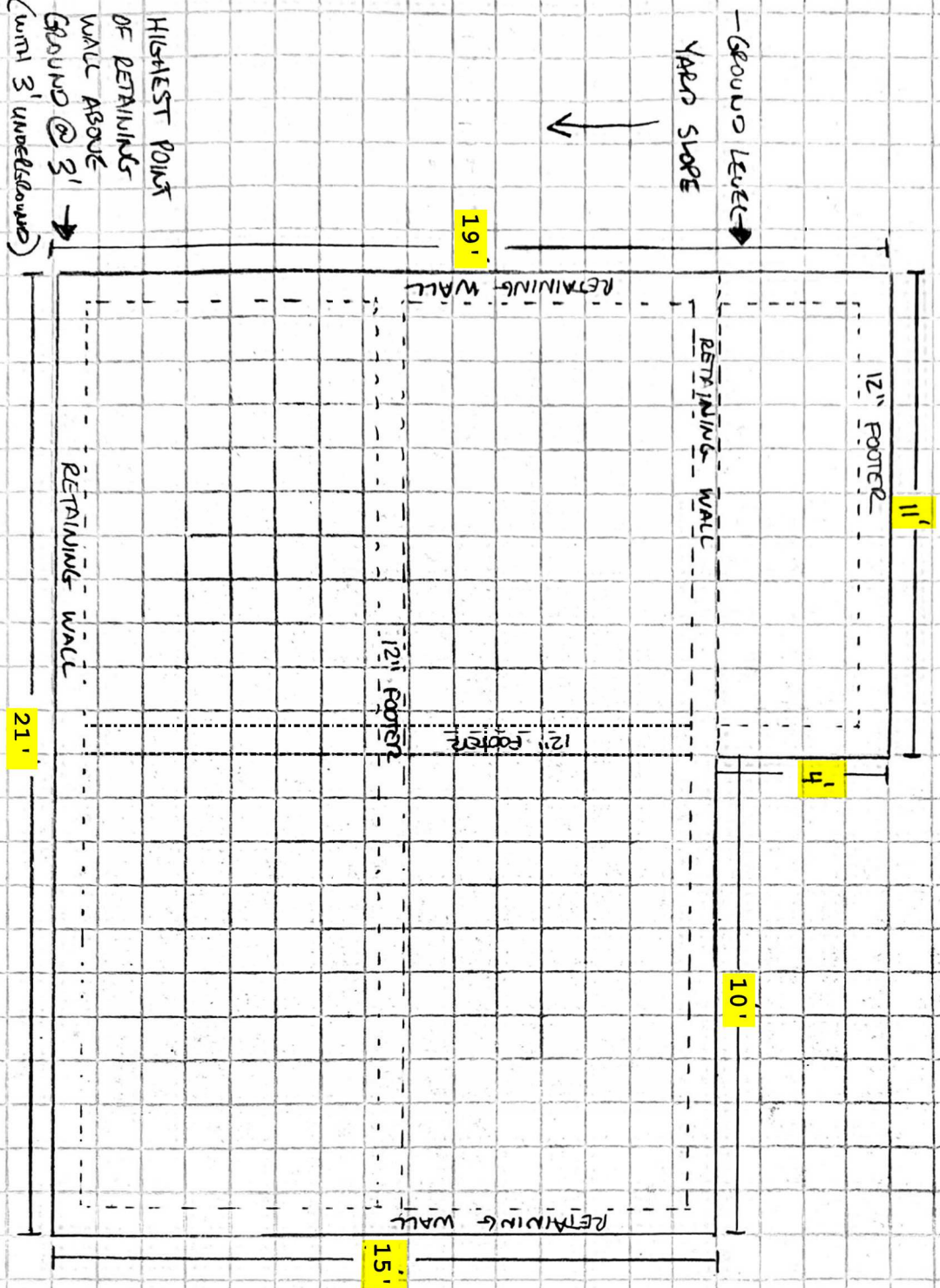
BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use

CONCRETE PAD w/ RETAINING WALL

- 3,000 PSI CONCRETE
- 1/2" REBAR THROUGHOUT (SPACED 16" APART FOR SLAB)

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



DETAILS:

THIS STRUCTURE WILL BE A SOLID CONCRETE RETAINING WALL 12" THICK WITH 1/2" REBAR FRAME CONSTRUCTION CONNECTING THE ENTIRE STRUCTURE (INCLUDING THE 5" THICK CONCRETE PAD ON TOP). THERE WILL BE A 12" FOOTER THROUGH THE MIDDLE OF THE SLAB CONNECTING TO THE RETAINING WALLS ON EITHER SIDE.

THE RETAINING WALL WILL BE 3' UNDERGROUND MOVING WITH THE SLOPE OF MY YARD. IT WILL BE 3' UNDERGROUND AND 3' (6" TOTAL) ABOVE GROUND AT THE LOW SIDE OF MY YARD. IT WILL PARALLEL AN EXISTING 3' RETAINING WALL TO RECEIVE THE LOAD. ALL OF IT WILL BE CONNECTED WITH REBAR AND CONCRETE TO MAKE ONE SOLID STRUCTURE WITH THE CONCRETE PAD ON TOP.

EXISTING RETAINING THAT IS 3' TALL.



BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use

BUILDING WILL BE CONSTRUCTED USING 2x4 FRAMING (16" ON CENTER) WITH SMART SIDING OUTER PANELING.

THE ROOF WILL BE A METAL STANDING SEAM ROOF OVER OSB PLYWOOD SHEETING AND 3016 ROOFING FECT.

THE ROOF TRUSSES WILL BE CONSTRUCTED WITH A 2x12x15 LVL RIDGE BEAM AND 2x6 RAFTERS 16" ON CENTER USING RAFTER HANGERS.

THE STRUCTURE WILL CONNECT TO THE CONCRETE SLAB USING PRESSURE TREATED LUMBER AND $\frac{1}{2}$ " x 5" SLEEVE ANCHORS.

THE GARAGE DOOR WILL BE ROLL-UP WIND RATED DOOR (8'x7") AND THERE WILL BE A STANDARD 3'x7' EXTERIOR DOOR.

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

SKAGGS ENGINEERING

1018 Meadow Green Court Princeton, TX 75407
skaggsengineering@yahoo.com
Cell: 972.369.2194

August 23, 2020

City of Rockwall
Building Inspections
385 S. Goliad Street
Rockwall, TX

Re: New Workshop Pad/Retaining Walls
1748 Lake Breeze Drive
Rockwall, TX

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

To Whom It May Concern:

I have reviewed the proposed workshop at the above referenced residence. The new workshop will be approximately 400 sf and constructed with wood stud bearing walls and wood rafters. The workshop will be located adjacent to an existing retaining wall along the property line. The workshop will be supported by a 5" concrete slab reinforced with #4 bars @ 16" OC each way and retaining walls on each side. The retaining walls are 12" wide, reinforced with #4 bars @ 16" OC each way, and set 36" into the ground. The walls vary in height and are a maximum of 3'-0" above grade.

After reviewing the information, in my opinion, the retaining walls and slab were constructed in accordance with the 2015 International Residential Code and City of Rockwall requirements. The retaining walls and slab can support the weight of the proposed workshop. The new retaining walls, slab, and proposed workshop will not affect the structural integrity of the existing retaining wall.

If I can be of any further assistance or if there should be any questions, please do not hesitate to call.

Sincerely,

SKAGGS ENGINEERING
FIRM NUMBER F-12387



Matthew R. Skaggs, P.E.
Skaggs Engineering

From: [Foshee, Craig](#)
To: [Gonzales, David](#); [Miller, Ryan](#)
Cc: [McDowell, Russell](#)
Subject: FW: 1748 Lake breeze
Date: Thursday, April 22, 2021 3:51:25 PM

-----Original Message-----

From: Yancey, Jared
Sent: Thursday, April 22, 2021 3:51 PM
To: McDowell, Russell <rmcdowell@rockwall.com>; Foshee, Craig <cfoshee@rockwall.com>
Subject: 1748 Lake breeze

The height on the structure is 15'7" from the backyard height. 19'9" from the existing retaining wall on edge of property.

Square footage is 330 ft.² for the downstairs, upstairs square footage is 240ft.² as to which the roofline meets the floor of attic area

Jared Yancey
469-797-3436
Building Inspections

This email was scanned by Bitdefender

















CITY OF ROCKWALL

ORDINANCE NO. 20-34

SPECIFIC USE PERMIT NO. S-231

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an Accessory Building that exceeds the maximum allowable size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 360 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

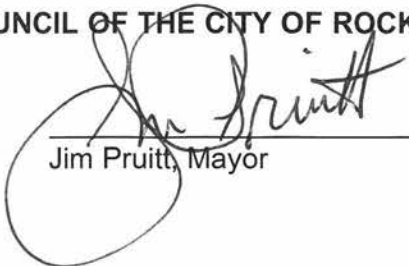
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 8TH DAY OF SEPTEMBER, 2020.



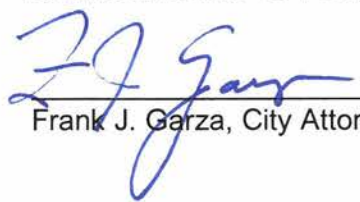
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: August 17, 2020

2nd Reading: September 8, 2020



Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive
Legal Description: Lot 6, Block O, Hillcrest Shores Addition



Exhibit 'B':
Site Plan

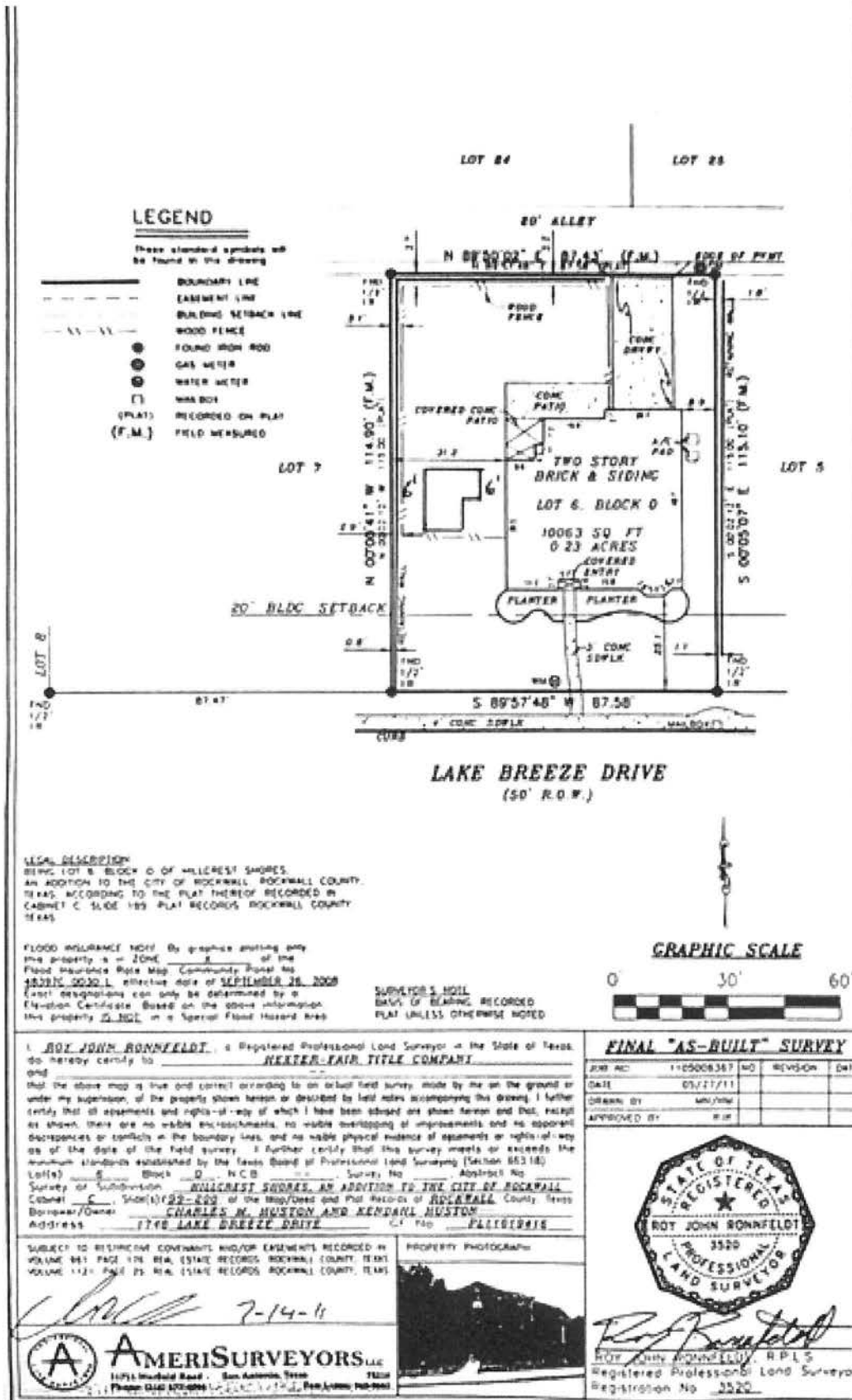


Exhibit 'B':
Site Plan

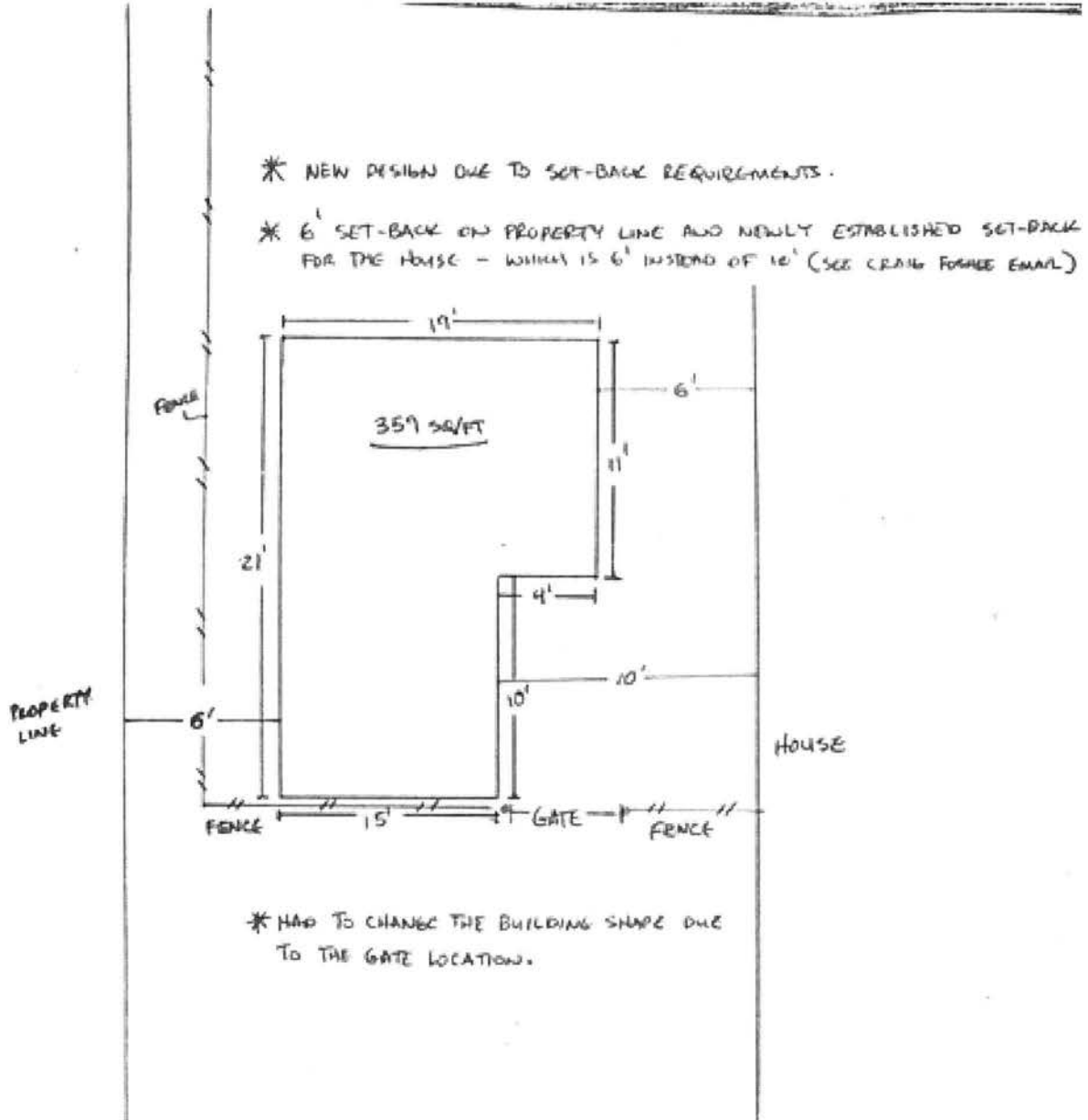


Exhibit 'C':
Conceptual Building Elevations

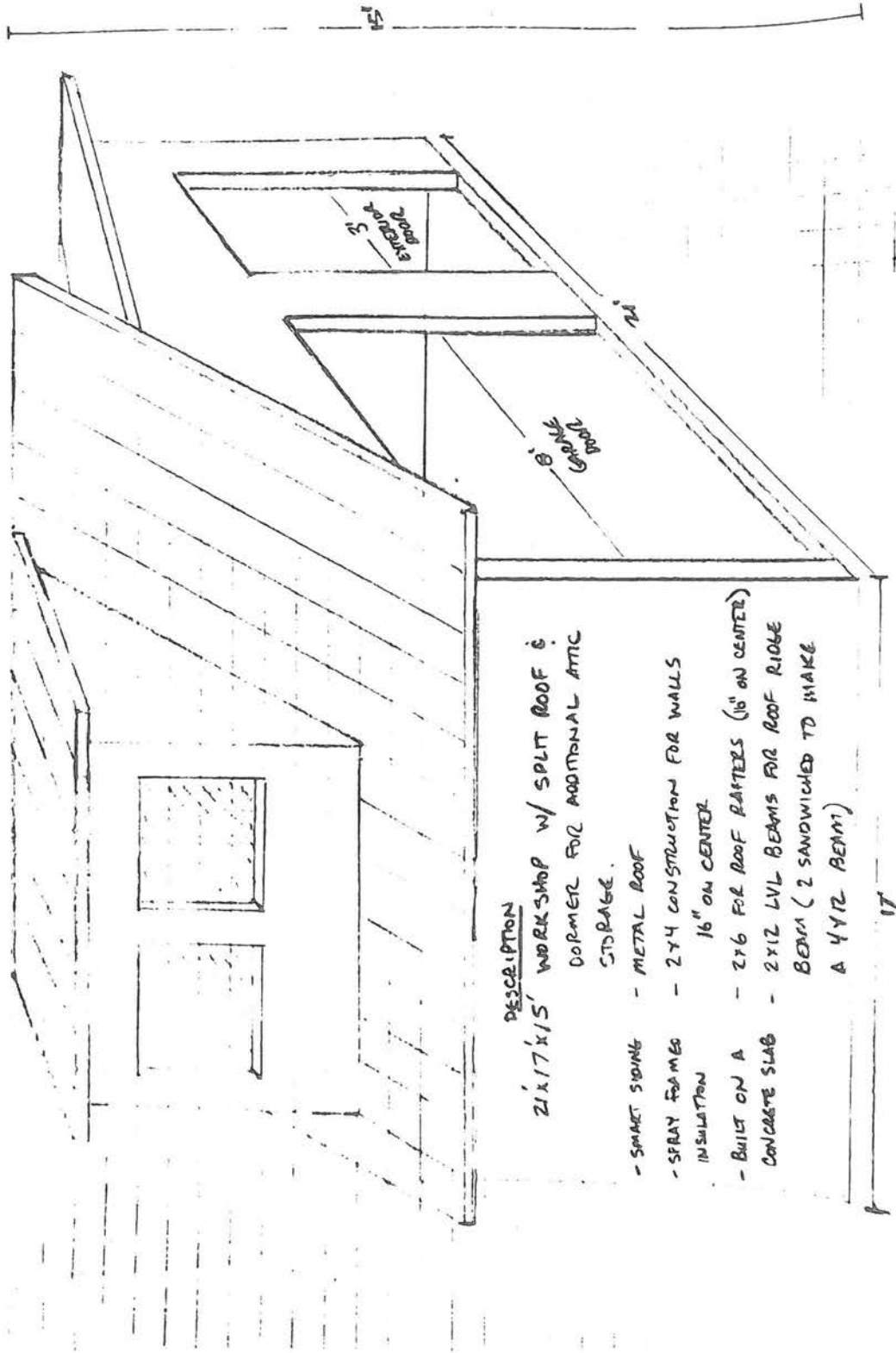
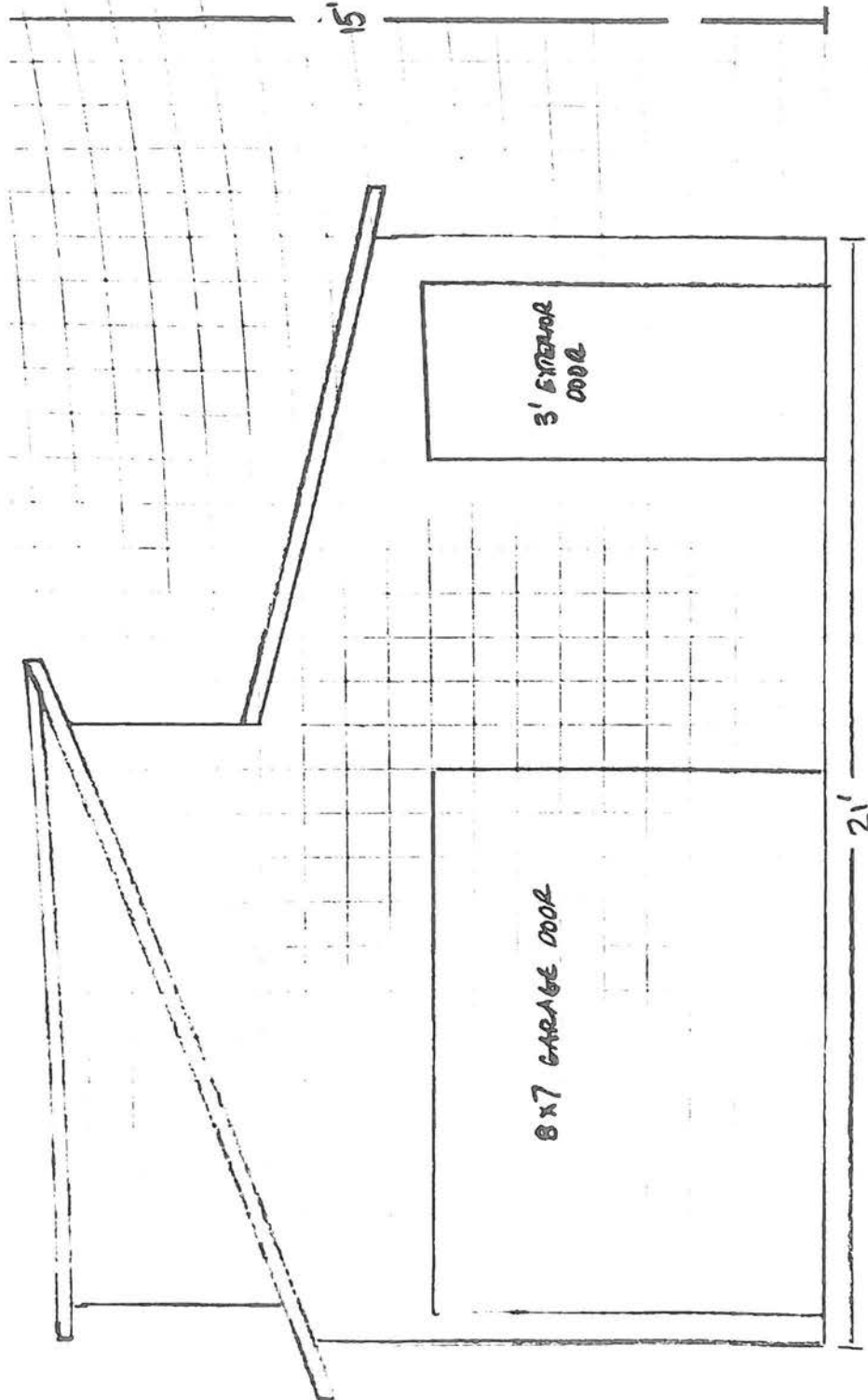


Exhibit 'C':
Conceptual Building Elevations





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: August 17, 2020
APPLICANT: Mark Klecha
CASE NUMBER: Z2020-030; *Specific Use Permit for an Accessory Building at 1748 Lake Breeze Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on February 6, 1961 by *Ordinance No. 61-02*. According to the City's historic zoning maps the subject property was zoned Multi-Family 1 (MF-1) District as of January 3, 1972. By May 16, 1983, this designation had changed to Planned Development District 11 (PD-11) [*Ordinance No. 80-13*] for Single-Family 2 (SF-2) District land uses. On June 7, 1993, *Ordinance No. 93-11* change the designation of the subject property within Planned Development District 11 (PD-11) to an area designated for Single-Family 10 (SF-10) District land uses [*Case No. PZ1993-020-01*]. The subject property was platted as Lot 6, Block O, Hillcrest Shores Addition on August 12, 1993 by *Case No. PZ1993-030-01*. According to the Rockwall Central Appraisal District (RCAD), situated on the subject property is a 2,649 SF single-family home that was constructed in 1995.

PURPOSE

The property owner and applicant -- *Mark Klecha* -- is requesting the approval of a Specific Use Permit (SUP) to permit the construction of an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1748 Lake Breeze Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an alleyway followed by the remainder of the Hillcrest Shores Subdivision, which consists of 67 single-family residential homes on 22.17-acres. Beyond this is Bayhill Drive, which is identified as a R2 (*i.e. residential, two [2] lane, roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown 2040 Vision Comprehensive Plan. North of this roadway is the Hillcrest Shores, Phase 2 Subdivision, which consists of 113 single-family residential homes on 53.24-acres. All of these properties are zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is Lake Breeze Drive, which is identified as a R2 (*i.e. residential, two [2] lane, roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of the Hillcrest Shores Subdivision. South of this is the Northshore, Phase 2B Subdivision, which consists of 76 single-family residential homes on 25.04-acres. This subdivision is zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the remainder of the Hillcrest Shores Subdivision followed by N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This area is zoned Planned Development District 11 (PD-11) for Single Family 10 (SF-10) District land uses. Beyond this is the Preserve, Phase 2 Subdivision, which consists of 82 single-family residential lots on 33.02-acres. This property is zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is the remainder of the Hillcrest Shores Subdivision, which is zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District. Beyond this is the *Lake Ray Hubbard Takeline* followed by the corporate limits of the City of Rockwall. Beyond this is Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and drawings requesting to permit a proposed 359 SF accessory building. Per the drawings provided by the applicant the accessory building will have a pitched roof with dormer windows, and stand a total of 15-feet in height. The exterior of the accessory building will be clad in a composite siding (*i.e. smart siding*), and the roof will be constructed with standing seam metal. The proposed building will be situated on the side of the property, adjacent to the western property line, behind an existing eight (8) foot board-on-board wood fence. In addition, the applicant has stated in the provided letter that there is a mature live oak tree situated in front of the fence further impairing the view of the structure.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. In addition, accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback and height requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 215 SF. Staff did perform a review of the aerial imagery of all of the homes in the Hillcrest Shores Subdivision (*i.e. the 67 single-family homes in the same phase as the subject property*) and determined that there does not appear to be any accessory buildings in this area of a similar size as to what the applicant is proposing. With this being said, there are covered patios and carports that appear to be of a similar size (*i.e. ~400 SF*). With regard to the letter submitted by the applicant, staff should note that a residential garage is clearly defined by Subsection 02.02(7) of Article 13, *Definitions*, of the Unified Development Code (UDC) as:

Residential Garage. A residential accessory building used for the storage of motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.

In the applicant's case, the roll up garage door will face toward the primary structure, and be six (6) feet away from the western wall of the primary structure. This would not make it possible to pull a standard size vehicle into the structure. In addition, the structure is completely enclosed behind an eight (8) foot fence and the applicant is not providing a driveway to the structure (*which is characteristic of a detached garage*). Based on this staff was required to designate this structure as an accessory building, and not as a detached garage as the applicant has requested.

Staff should note that the structure will only be slightly visible from Lake Breeze Drive and that an existing tree and eight (8) foot fence will impair the view of the structure from right-of-way. With this being said, approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 23, 2020, staff mailed 100 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Hillcrest at the Shores and the Preserve Homeowner's Associations (HOA's), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received four (4) notices in favor of the applicant's request and one (1) notice opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in Exhibits 'B' & 'C' of the Specific Use Permit (SUP) ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 360 SF; and
 - (c) The subject property shall not have more than one (1) accessory building.
- (2) The applicant will need to submit a letter from a structural engineer certifying that the recently built retaining wall was built to hold the weight of the proposed accessory structure, and that the retaining wall poses no structural risk to the existing three (3) foot retaining wall on the adjacent property; and
- (3) The applicant will need to apply for a building permit from the Building Inspections Department; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On August 11, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) with the conditions of approval by a vote of 4-2, with Commissioners Logan and Womble dissenting and Commissioner Welch absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING

CASE NO. 22020-030

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1748 LAKE BREEZE DR. ROCKWALL, TX 75087

Subdivision HILLCREST SHORES Lot 6 Block Ø

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-11

Current Use RESIDENTIAL

Proposed Zoning PD-11

Proposed Use RESIDENTIAL

Acreage Ø.23

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner MARK KLECHA

Applicant

Contact Person

Contact Person

Address 1748 LAKE BREEZE DR.

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 402-315-8387

Phone

E-Mail markklecha@hotmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared MARK KLECHA [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of July, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

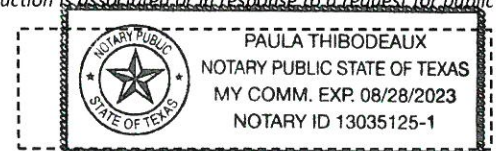
Given under my hand and seal of office on this the 16th day of July, 20 20.

Owner's Signature

Mark Klecha


Notary Public in and for the State of Texas

Paula Thibodeaux



My Commission Expires

0 15 30 60 90 120 Feet

Z2020-030- SUP FOR 1748 LAKE BREEZE DRIVE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

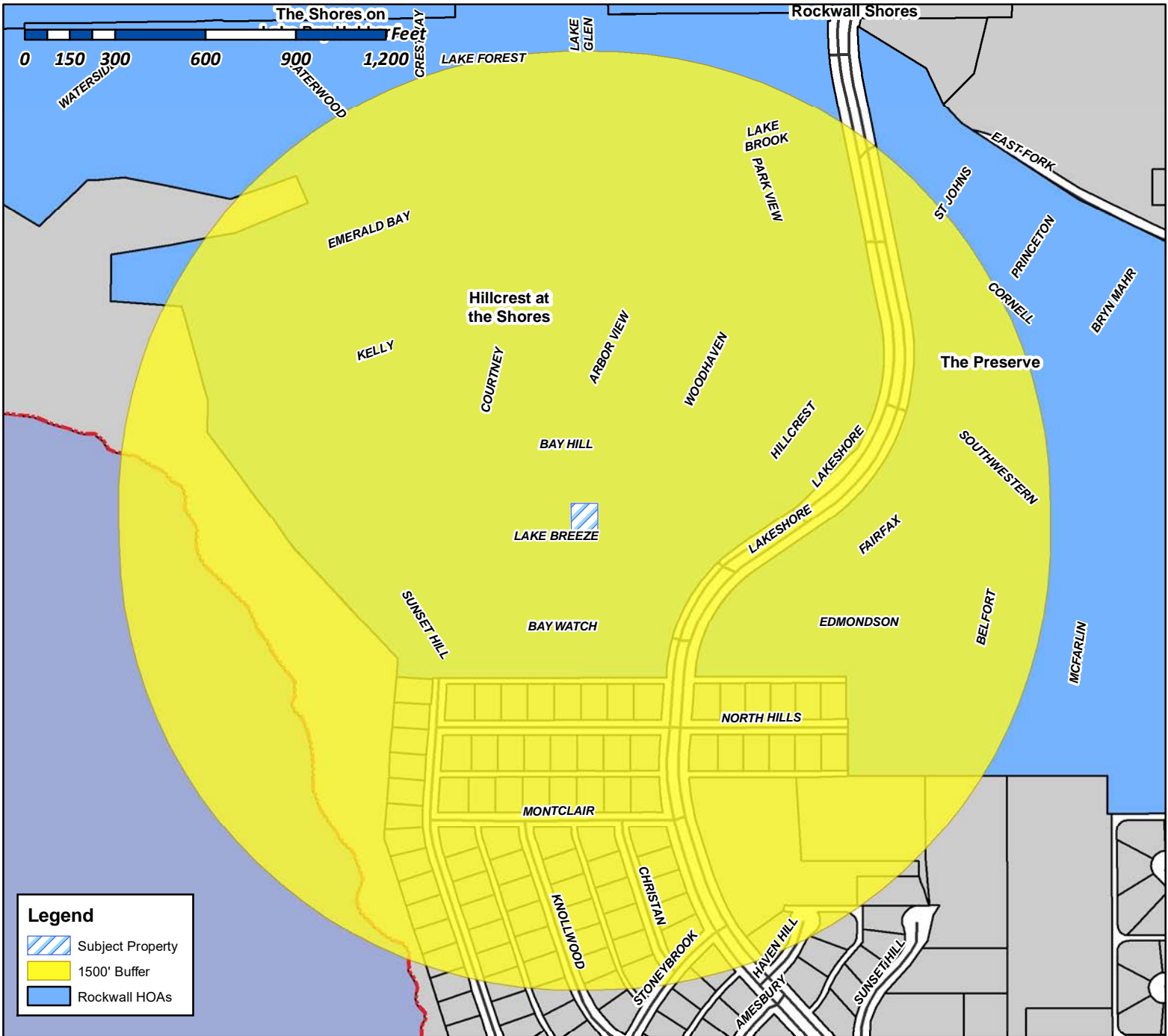




City of Rockwall

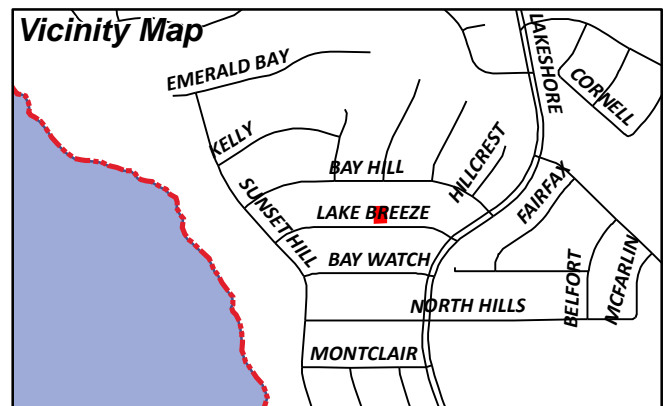
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-030
Case Name: SUP for 1748 Lake Breeze Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 7/17/2020
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Henry Lee](#)
Subject: Neighborhood Notification Program
Date: Tuesday, July 21, 2020 10:14:35 AM
Attachments: [HOA Map \(07.17.2020\).pdf](#)
[Public Notice \(07.20.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 31, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 11, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 17, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a [Specific Use Permit \(SUP\)](#) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



City of Rockwall

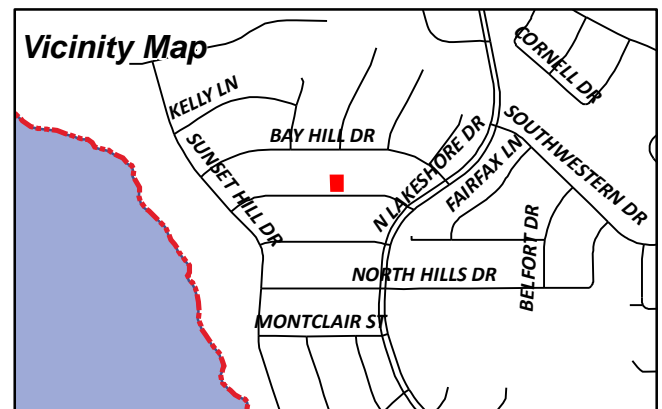
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-030
Case Name: SUP for 1748 Lake Breeze Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 7/22/2020
For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1011 HILLCREST
ROCKWALL, TX 75087

ANDERSON SALLY LESIL & STEVE
1017 COURTNEY CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 WOODHAVEN
ROCKWALL, TX 75087

DORN KEITH
1020 ARBOR VIEW PL
ROCKWALL, TX 75087

SANDMAN DAVID & VALERIE
1020 COURTNEY CIR
ROCKWALL, TX 75087

HAUER MELVIN C & VIRGINIA L
1020 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

LOGAN WINFRED BART & TRACEY
1021 ARBOR VIEW PL
ROCKWALL, TX 75087

MAURHOFF MARGARET L AND
MICHAEL J VEREB
1025 COURTNEY CIRCLE
ROCKWALL, TX 75087

WEBER MATTHEW J AND THERESA M
1027 ARBOR VIEW PL
ROCKWALL, TX 75087

BEUSELING JOHN MARTIN & GLORIA LYNN
1029 WOODHAVEN CIR
ROCKWALL, TX 75087

BENAVIDES RAPHAEL G & MARY A
1030 ARBOR VIEW PL
ROCKWALL, TX 75087

MULLINAX STEVE WAYNE & DEBBIE S
1030 COURTNEY CIR
ROCKWALL, TX 75087

CORRIGAN DERRICK & STEFANIE
1030 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

ABRAMSKY SAMUEL & CHRISTI
1033 ARBOR VIEW PL
ROCKWALL, TX 75087

FLEMING ERIC AND DEIDRE
1033 COURTNEY CIR
ROCKWALL, TX 75087

WARD PATRICK C
1037 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

BEATY SUSAN J
1038 COURTNEY CR
ROCKWALL, TX 75087

CURRENT RESIDENT
1039 ARBOR VIEW
ROCKWALL, TX 75087

MAY RICHARD A & LISA A
1040 ARBOR VIEW PL
ROCKWALL, TX 75087

SMETANA JOSEPH JR & ANGEL P
1046 COURTNEY CIR
ROCKWALL, TX 75087

RESTER J TREVER & MICHELLE
1047 ARBOR VIEW PL
ROCKWALL, TX 75087

PETTIT PAUL & PAMELA
1048 ARBOR VIEW PL
ROCKWALL, TX 75087

WRIGHT LARRY G & JENNIFER
1054 COURTNEY CIRCLE
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1514 MALLARD HVN
SAN ANTONIO, TX 78260

SUCHAND HAROLD A AND SUSAN W
1596 EDMONDSON TR
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

CURRENT RESIDENT
1602 NORTH HILLS
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1604 NORTH HILLS
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

BAUCHMAN NANCY
16631 MALCOLM LN
YORBA LINDA, CA 92886

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1704 LAKE BREEZE
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

RYAN JEFFREY & DARLA
1705 BAYHILL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1707 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PAULSEN LOGAN & BRANDI A
1712 BAY WATCH DRIVE
ROCKWALL, TX 75087

VAUGHN STEPHEN MICHAEL
1712 LAKE BREEZE DR
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

REPMAN MARK &
MICHELLE BASTIDAS
1715 BAYHILL DR
ROCKWALL, TX 75087

SIMPSON RODNEY KEITH
1717 LAKE BREEZE DR
ROCKWALL, TX 75087

PEDDIE STACIE
1720 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

KEETON KENNETH W & REBECCA
1722 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1727 BAY HILL
ROCKWALL, TX 75087

KETON JAMES H & JEANNETTE S
1727 LAKE BREEZE DR
ROCKWALL, TX 75087

HIGGINS BRADLEY STEPHEN AND
AMANDA JO BURT HIGGINS
1730 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1732 BAY WATCH
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LOCKWOOD CHARLES DOUGLAS
1737 BAYHILL DR
ROCKWALL, TX 75087

BOWEN RONALD L & DEANNA K
1737 LAKE BREEZE DR
ROCKWALL, TX 75087

BYROM JOHNNY R & LYNETTE
1738 LAKE BREEZE DR
ROCKWALL, TX 75087

TUBBS LAJUAN C
1740 BAY WATCH DR
ROCKWALL, TX 75087

LANZONE FAMILY LIVING TRUST
CHRIS A LANZONE AND DIANE M LANZONE-
TRUSTEES
1741 BAY WATCH DRIVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

BRADLEY TAMMY JEAN
1747 BAY HILL DR
ROCKWALL, TX 75087

SISKA JAMES W & RITA F
1748 BAY WATCH DR
ROCKWALL, TX 75087

KLECHA MARK AND ANGELA
1748 LAKE BREEZE DR
ROCKWALL, TX 75087

AKARD ARTHUR F & DANA D
1751 BAY WATCH DR
ROCKWALL, TX 75087

THOMPSON RONALD G & CAROLYN E
1755 BAYHILL DR
ROCKWALL, TX 75087

BARKER MARK A
1755 LAKE BREEZE DR
ROCKWALL, TX 75087

BOONE WILLIAM R JR & KYOKO N
1756 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1758 BAY WATCH
ROCKWALL, TX 75087

WITTIG MILTON G & CYNTHIA J
1759 BAY WATCH DR
ROCKWALL, TX 75087

LOWNDES ROBERT
1763 BAYHILL DR
ROCKWALL, TX 75087

LONDON REV TR
1763 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1764 LAKE BREEZE
ROCKWALL, TX 75087

CURRENT RESIDENT
1766 BAY WATCH
ROCKWALL, TX 75087

JACOBSON BRUCE ALLEN & MARGARET
1769 BAY WATCH DR
ROCKWALL, TX 75087

SMITH JAMES & JULIE
1773 BAYHILL DR
ROCKWALL, TX 75087

MEYN RICHARD B & CATHERINE
MEYN FAMILY TRUST
1773 LAKE BREEZE DR
ROCKWALL, TX 75087

HAMILTON DOUGLAS C & JANET K
1774 BAY WATCH DR
ROCKWALL, TX 75087

GUZMAN PATRICIA MARGARITA & THANH
NGUYEN HOANG
1774 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

MOORE KERMIT T & GWENDOLYN R
1781 BAYHILL DR
ROCKWALL, TX 75087

PERALES LIVING TRUST
1781 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

HOLCOMB RICHARD & KATHY
1782 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1790 LAKE BREEZE
ROCKWALL, TX 75087

BARBER TRUMAN JOSEPH & BARBARA
1791 BAYHILL DR
ROCKWALL, TX 75087

KING DOROTHY
1793 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

DAVENPORT JAMES & MARYBETH
1798 LAKE BREEZE DR
ROCKWALL, TX 75087

VESTAL JEANETTE & ALSON
1799 BAYHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1803 LAKE BREEZE
ROCKWALL, TX 75087

CURRENT RESIDENT
1807 BAY HILL
ROCKWALL, TX 75087

DAVIS JIMMY GOLAN AND TATIANA
KAPOUSTINA-DAVIS
1817 BAYHILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1822 BAY HILL
ROCKWALL, TX 75087

KHABAZ ALLEN BLEEDO
1827 BAYHILL DR
ROCKWALL, TX 75087

REED LARRY K
18333 ROE HAMPTON #323
DALLAS, TX 75252

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

CUTLER ELDON GEORGE & THALIA LONE
40161 E 179TH STREET
KINGSVILLE, MO 64061

VILLARREAL GLORIA M & JOSE C
4914 W 106TH ST
OAK LAWN, IL 60453

OH SINEUI
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO. LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

OPEN HOUSE TEXAS REALTY & INVESTMENTS
LLC
5050 QUORUM DRIVE SUITE 120
DALLAS, TX 75254

CRETI DANIEL AND MARTHA TRUST
550 S SILVERADO WAY
ANAHEIM, CA 92807

WILLIS RUTH HAYNES
6168 PRESTONDELL DR
DALLAS, TX 75240

BREEN ROBERT AND LAURA
661 JUSTIN RD
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
915 SUNSET HILL DRIVE
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breezy Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 11, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 17, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 17, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020_030

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

It does not cause any problems in our neighborhood.

Respondent Information

Please provide your information.

First Name *

William and Kyoko

Last Name *

Boone

Address *

1756 Lake Breeze Dr

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

wrboone@hotmail.com

Phone Number

214-641-2988

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

PLEASE RETURN THE BELOW FORM

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

See attached explanation of request to deny.

Name:

ARTHUR AKERD

Address:

1751 Bay Watch, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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To: Mr. Ryan Miller
Rockwall Planning and Zoning Dept.
385 South Goliad Street
Rockwall, Texas 75087

From Arthur Akard
1751 Bay Watch Drive
Rockwall, Texas 75087

Ref: Case No, Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

I would like to register my opposition to the zoning variance request for an accessory building at 1748 Lake Breeze Drive, Rockwall, Texas 75087. Such a structure would be visible from the street as well as from the neighboring houses and it would detract from the overall appearances of the neighborhood. Additionally, it could very well block views of Lake Ray Hubbard for many of the surrounding house which people paid a premium to live in this neighborhood for. But most concerning it it would cause a decrease in the value of the surrounding houses due to negative aesthetic impact on the neighborhood. This in turn would mean reduced revenue for the county and school district via property taxes. Please deny the request.

If you have any questions or need clarification on my position, please feel free to mail me at the above address.

A handwritten signature in black ink, appearing to read 'Arthur Akard', with a large, stylized flourish at the end.

Arthur Akard

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Mr. Klecha has done a considerable amount of research and invested money to have a successful project that will look good and enhance his property. I am in favor of approving this request!

Name: Doug Hamilton
Address: 1774 Bay Watch Dr. Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

So long as the construction meets safety & industry standards, the property should be authorized for an Accessory Building. It's their property and they should have the right to develop or build on the land.

Name: ROBIN & ERIC MATHIAS

Address: 1011 HILLCREST CR, ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

A new cedar fence has been installed at the rear of the property, so the new structure will not be very visible from the front street or rear alley way.

Name:

TRUMAN JOSEPH BARBER

Address:

1791 BAYHILL DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Mark Klecha
1748 Lake Breeze Drive
Rockwall, TX 75087

To the Committee Board,

Thank You for taking the time to consider my special use permit application. I wanted to write to the board to explain my situation in hopes that it will answer any questions you may have on my project.

A quick background on what I am trying to do. I have been completing multiple home improvement projects around my home while I have the down time with the current pandemic situation; a new fence and an added driveway to be exact. During a pre-pour concrete inspection, I asked the Rockwall City Inspector to take a look at a potential location in my yard for a detached garage/workshop to get his inputs on what the requirements would be to build it. Because my yard has a drastic slope to it, he said this location would require an addition of a retaining wall and a concrete slab. He explained the property line set backs and how far the structure would need to be from our home. As well as all the precautions for underground water, sewer, gas and electric, which I had the city come out and inspect before I began the project. The inspector also showed me where to find additional information for specific permit requirements on the Rockwall website, which is what I have used as a template to start my project.

Armed with this knowledge I pulled permits for the retaining wall and concrete slab, all of which were approved by the city. That work is now complete and can be seen in the attached photos. I am finishing up the stone veneer around my concrete retaining wall and plan to have the final inspection done upon completion of the stonework. The concrete slab is also complete and has been finalized by the city. I have been fully transparent about my intentions to build this structure and have asked many questions along the way to ensure I was doing it according to city requirements. It wasn't until now that anyone mentioned the square footage limitations I was going to run into.

Fast forward to now. I applied for the permit to begin building the structure and this is where things took a surprise turn for my project. This is technically a detached garage, which affords me up to a 625 sq/ft structure per the city permit requirements. However, I was told in order to permit it as a detached garage, I would need a 12' wide driveway poured to the garage door (which is not mentioned anywhere on the "City of Rockwall Permit Requirements for Residential Portable, Accessory Buildings, Detached Garages and Carports" page). Due to the location of the structure on my property (see attached site plot), it would not be feasible or aesthetically pleasing to pour that much concrete through my backyard. So because of that one requirement, I must permit this

structure as an accessory building, which now forces me to limit the size of the building to 144 sq/ft. My structure will be approximately 360 sq/ft (see attached plan drawings). So I find myself in a sort of play on words where one allows me to build the structure while also requiring a lot of concrete and the other limits the square footage of the structure. This is why my application is in front of you today. If I wanted to pour a driveway through my backyard, I could technically get a detached garage permit and be able to build the structure without a special use permit. However, that would be cost prohibitive and quite frankly, not at all appealing for my back yard. I would think we can all agree on that?

Having said all of that, please allow me to explain how this structure will be an improvement to my property and all of the precautions I have taken to ensure my neighbors and the location of the structure have been taken into account. I have spoken to my neighbor on that side of my property about my plans and what I am doing. They fully support it and are even willing to sign a letter, if needed, to help this process along. My property also has two large oak trees located in front of and behind where this structure will be built (see attached photos) and they will block the majority of the structure from both the street and alley view. I also have a brand new 8' fence to block it from view as much as it can. I designed the structure to tie in with the architectural elements of our home so that it will not be an eyesore to the neighborhood.

I am asking for your consideration and approval of this permit. I began this project based on the information given to me by the Rockwall City Inspector and the information presented on the Rockwall website for permit requirements. I made large financial decisions based on that information and now find myself in this conundrum of what appears to be, in my opinion, a technicality on words vaguely defining what a structure is and the subsequent surrounding requirements that aren't completely defined on the permit requirements page (i.e. detached garage vs accessory building). At this point I have invested over \$7,000 dollars to build the retaining wall and the concrete slab for this structure. To be denied this special use permit at this point would be very unfortunate and put me in a tough situation.

I am hopeful that you will see my due diligence in using the city professionals and resources prior to beginning this project. I am asking for your help to see this project to its completion.

Again, Thank You for your time and consideration on this matter. If you have any questions or need more information, please contact me at (402) 315-8387 or markklecha@hotmail.com.

Warm Regards,



CITY OF ROCKWALL PERMIT REQUIREMENTS FOR RESIDENTIAL PORTABLE, ACCESSORY BUILDINGS, DETACHED GARAGES & CARPORTS.

A permit is required to erect portable or accessory buildings, detached garages and carports. Requirements are as follows:

1. Permit application
2. Site plan or property Survey – showing the location, size of the building (length, width, height), and the setbacks (distance) from the property line(s) and other structures on the property.
3. Buildings with concrete slabs will require two inspections & should not be located over a gas line. Buildings with electrical, Plumbing or mechanical need to be inspected before covered, such as with sheet-rock.
4. The permit fee is based on the square footage. .

SUBSECTION 7.04: ACCESSORY STRUCTURE DEVELOPMENT STANDARDS

Accessory Structure Development Standards		Accessory Structures & Accessory Buildings ^{1 & 3}					Portable Accessory Building 0 SF – 120 SF ⁸	Detached Garage ^{6 & 9}	Carports ^{7 & 8}
		Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	All Other Single Family Zoning Districts (i.e. SF-7, SF-8.4, SF-10, SF-16 &)	Two Family (2F) District			
Zoning Districts or Accessory Structure Type <input type="checkbox"/>									
Development Standards <input type="checkbox"/>									
Number of Accessory Structures or Number of Specific Accessory Structure		2 ²	2 ²	2 ²	2	1	1	1	1
Maximum SF of Accessory Structure ⁵		1,000 ²	1,000 ²	1250 ²	144 ⁵	100	120	625	500
Minimum Setbacks	Rear (Feet)	10	10	10	3	3	3	10	10
	Rear w/ Alleyway (Feet)	20 ⁴	20 ⁴	20 ⁴	3	3	3	20 ⁵	20
	Side (Feet)	See Zoning District	See Zoning District	See Zoning District	See Zoning District	3	3	See Zoning District	See Zoning District
Between Buildings (Feet)		10	10	10	6	3	3	10	10
Building Height (Feet)		15	15	15	15	10	10	15	15

ADDITIONAL REQUIREMENTS:

- ★ 1: Accessory buildings and accessory structures shall be accessory to a residential use and located on the same lot. Unless stipulated above, only two (2) accessory structures are permitted per single-family lot; excluding carports that are integrated into the main accessory structure.
- 2: If more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF. If there is an existing accessory building greater than 625 SF no additional accessory buildings or structures are permitted.
- ★ 3: Accessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure.
- ★ 4: If the accessory building does not have garage doors facing the alleyway the setback is the same as the base zoning district.
- ★ 5: Accessory buildings and structures not meeting the size requirements stipulated by the section shall require a Specific Use Permit (SUP).
- ★ 6: Each property shall be permitted one (1) detached garage up to 625 SF and one (1) accessory building up to 144 SF.
- 7: In residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley. Porte-cocheres are not considered carports, and are allowed, if they are attached and integral with the design of the house.
- 8: Two (2) story accessory buildings or structures shall be prohibited.
- 9: Shall include a minimum of one (1) garage bay door large enough to pull a standard size motor vehicle through.

★ NO MENTION OF REQUIRED 12 FOOT DRIVEWAY TO QUALIFY AS A "DETACHED GARAGE"

★ NOTE 5 IS SORT OF HIDDEN AND NOTE 6 MAKES IT APPEAR THAT I WAS MEETING THE INTENT WITH MY STRUCTURE.

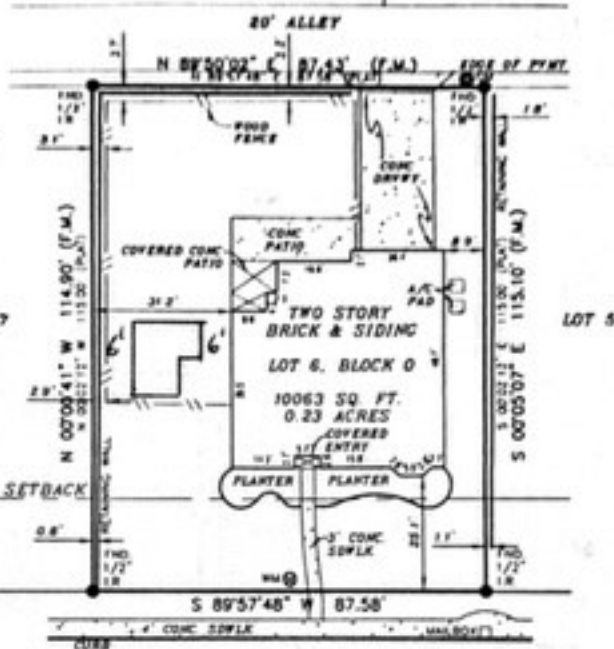
LOT 84

LOT 85

LEGEND

These standard symbols will be found in the drawing

- BOUNDARY LINE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- ||| WOOD FENCE
- FOUND IRON ROD
- ⊙ GAS METER
- ⊙ WATER METER
- MANHOLE
- (PLAT) RECORDED ON PLAT
- (F.M.) FIELD MEASURED

LAKE BREEZE DRIVE
(50' R.O.W.)

LEGAL DESCRIPTION

BEING LOT 6, BLOCK 0 OF HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 199, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

FLOOD INSURANCE NOTE: By graphic showing only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 18297C 0030-1, effective date of SEPTEMBER 26, 2008. Exact designations can only be determined by a Flood Certificate. Based on the above information, this property is NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
BASIS OF BEARING, RECORDED
PLAT UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to HEXTER-FAIR TITLE COMPANY and that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 863.18).
Lot(s) 6, Block 0, N.C.B. , Survey No. , Abstract No.
Survey or Subdivision HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL
Cabinet C, Side(s) 122-222 of the Map/Deed and Plat Records of ROCKWALL County, Texas
Borrower/Owner CHARLES N. HUSTON AND KENDALL HUSTON
Address 1748 LAKE BREEZE DRIVE of No. FALTBIRGIS

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN VOLUME 941, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS

PROPERTY PHOTOGRAPH



FINAL "AS-BUILT" SURVEY

JOB NO.	1105008387	NO.	REVISION	DATE
DATE:	03/27/11			
DRAWN BY:	ML/TH			
APPROVED BY:	RJR			



Roy John Ronnfeldt
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520

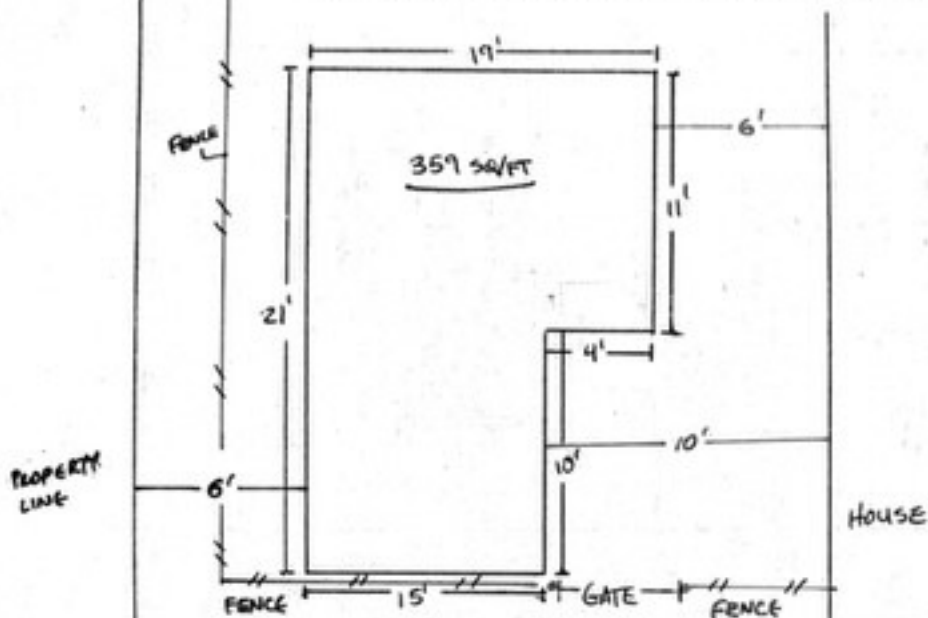


AMERISURVEYORS, LLC
10751 Inwood Road - San Antonio, Texas 78249
Phone: (214) 479-9999 • FAX: (214) 479-9999

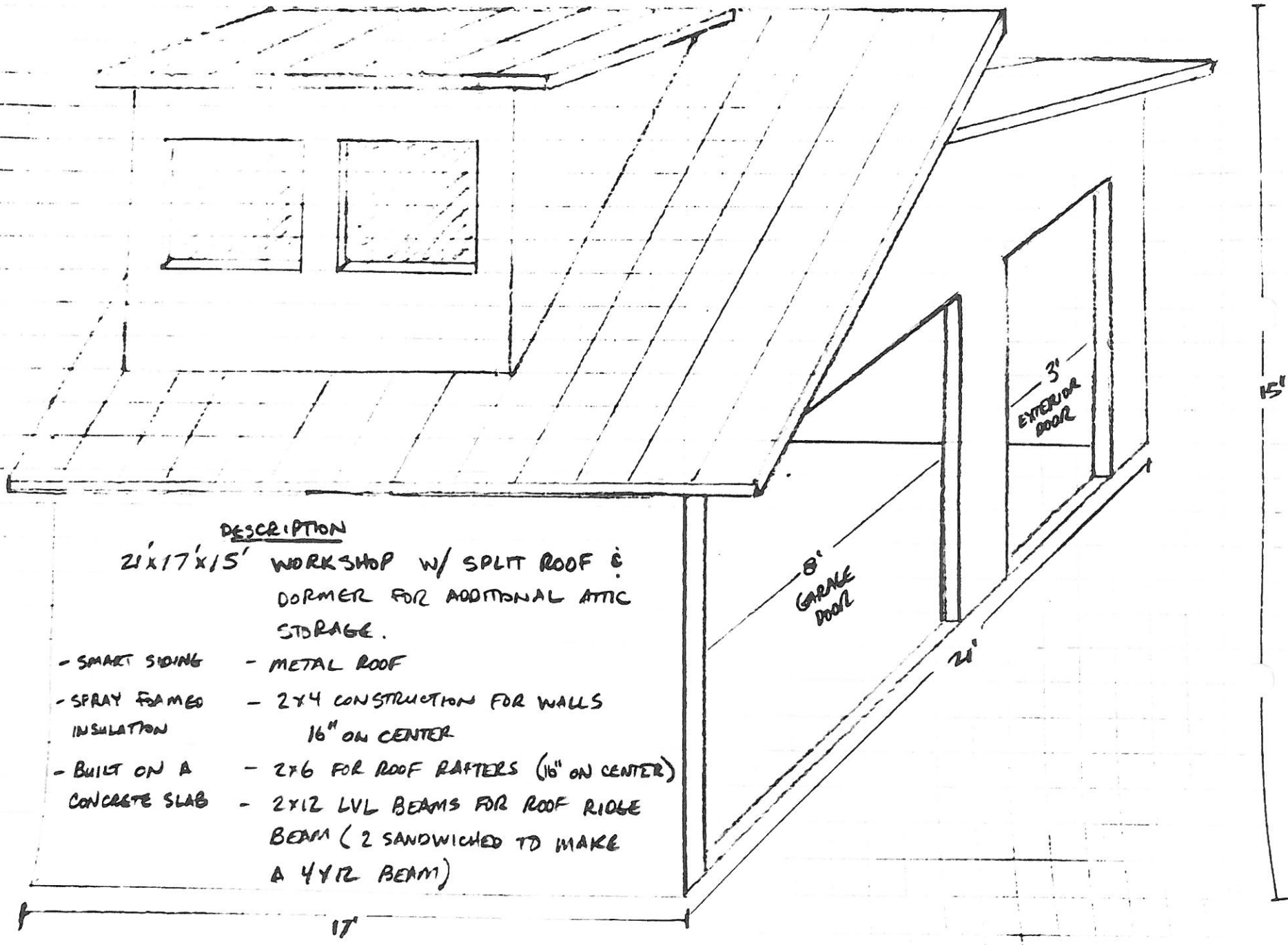
7-14-11

* NEW DESIGN DUE TO SET-BACK REQUIREMENTS.

* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE CRAIG FORBES EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.



DESCRIPTION

21'x17'x15' WORKSHOP W/ SPLIT ROOF & DORMER FOR ADDITIONAL ATTIC STORAGE.

- SMART SIDING
- SPRAY FOAMED INSULATION
- BUILT ON A CONCRETE SLAB
- METAL ROOF
- 2x4 CONSTRUCTION FOR WALLS 16" ON CENTER
- 2x6 FOR ROOF RAFTERS (16" ON CENTER)
- 2x12 LVL BEAMS FOR ROOF RIDGE BEAM (2 SANDWICHED TO MAKE A 4x12 BEAM)

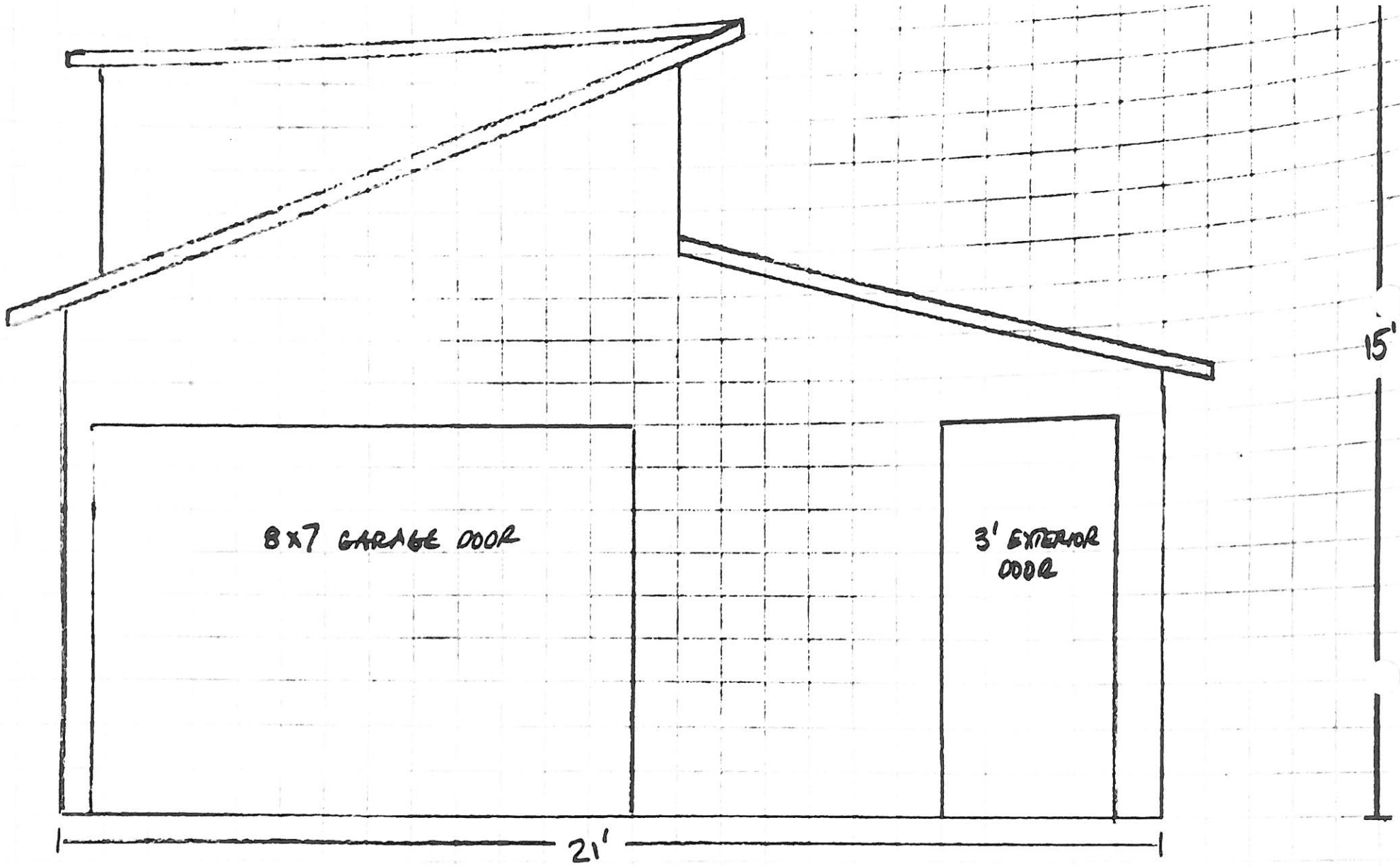
8'
GARAGE
DOOR

3'
EXTERIOR
DOOR

21'

17'

15'



PROPERTY LINE

RETAINING WALL

3' SET
BACK

FENCE

NOTES:

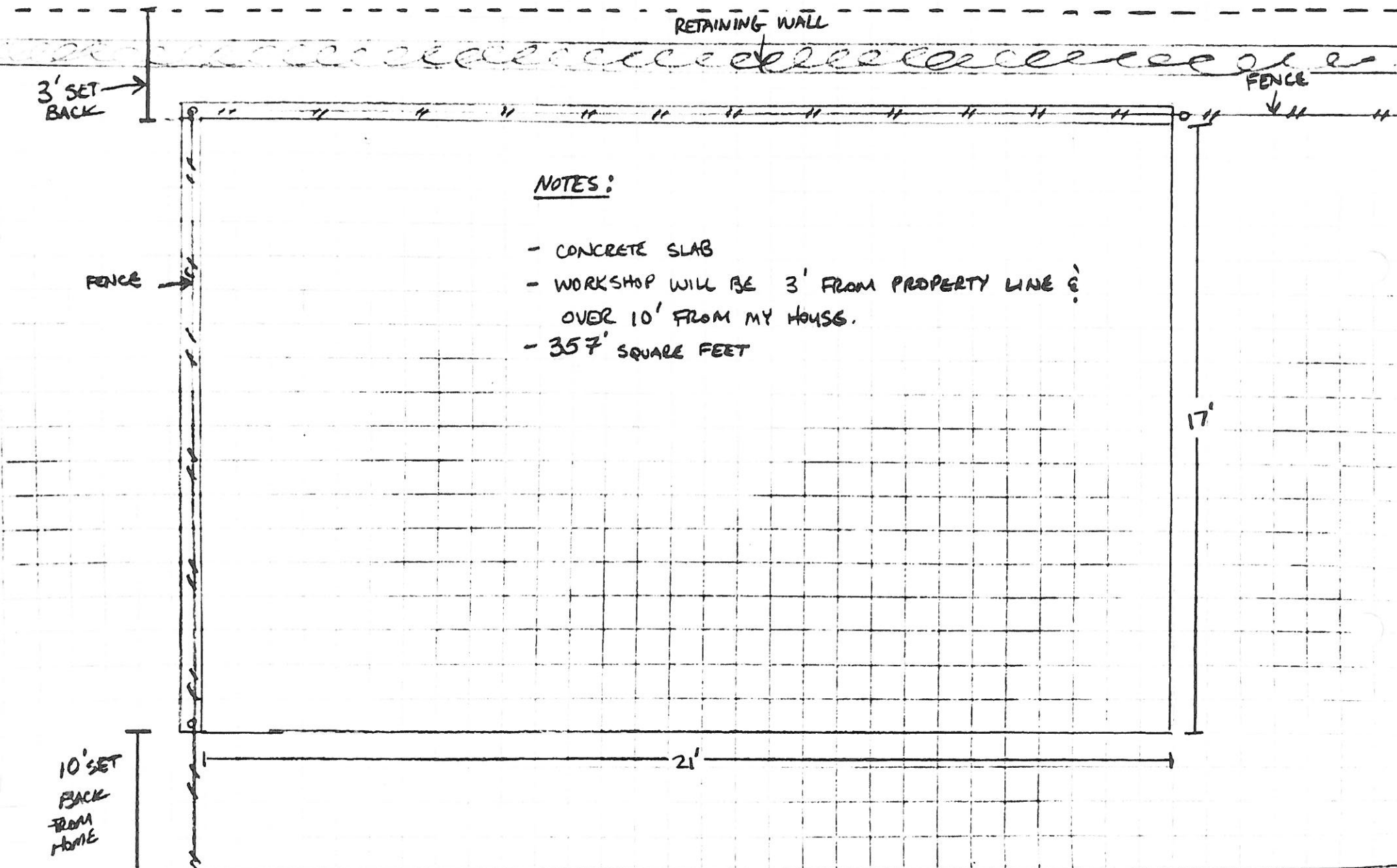
- CONCRETE SLAB
- WORKSHOP WILL BE 3' FROM PROPERTY LINE &
OVER 10' FROM MY HOUSE.
- 357' SQUARE FEET

FENCE

17'

21'

10' SET
BACK
FROM
HOME



* STRUCTURE WILL BE MOSTLY COVERED
WITH FENCE AND OAK TREES FROM THE
FRONT AND BACK





CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an Accessory Building that exceeds the maximum allowable size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 360 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 8TH DAY OF SEPTEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 17, 2020

2nd Reading: September 8, 2020

Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive

Legal Description: Lot 6, Block O, Hillcrest Shores Addition



Exhibit 'B':
Site Plan

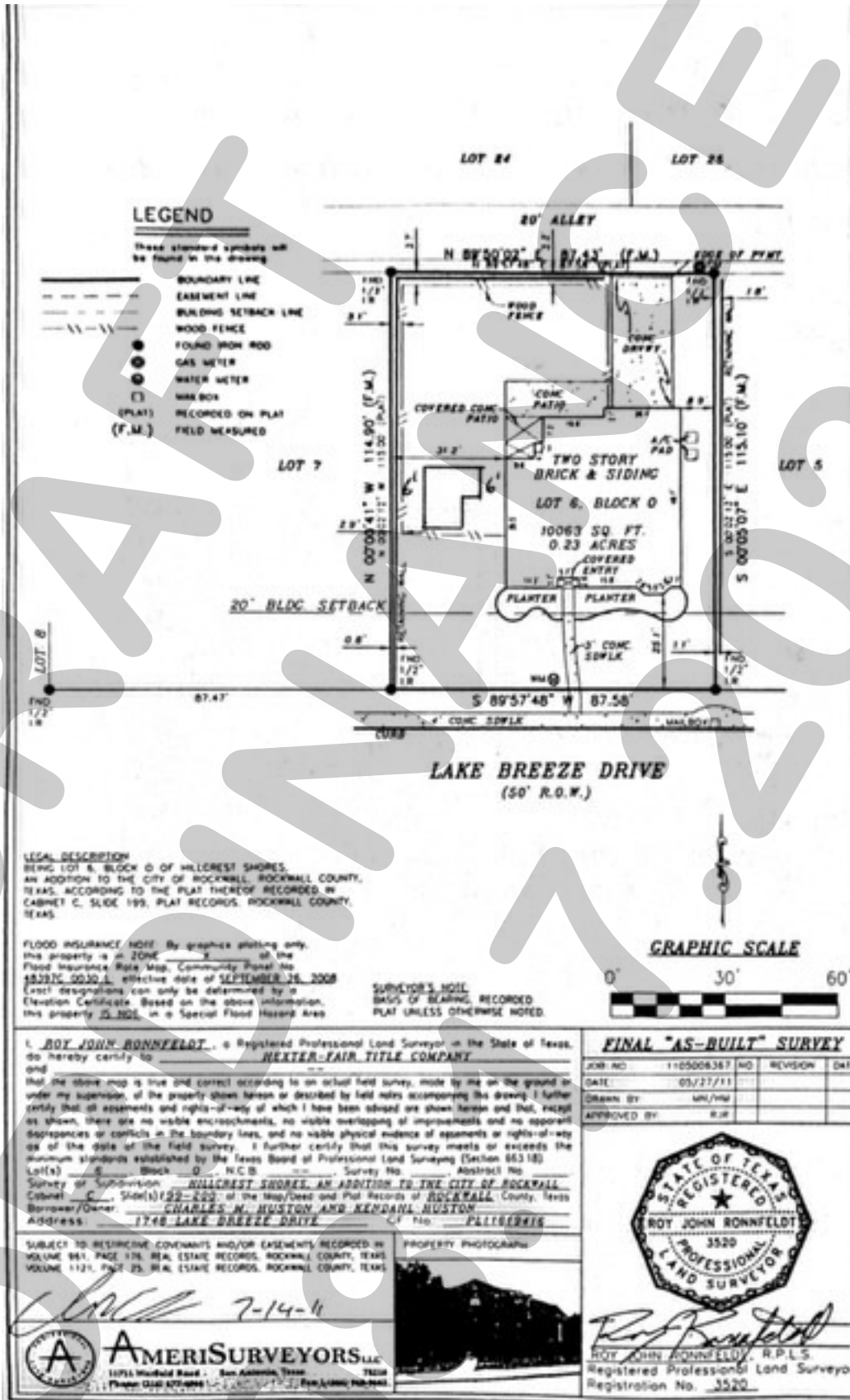


Exhibit 'B':
Site Plan

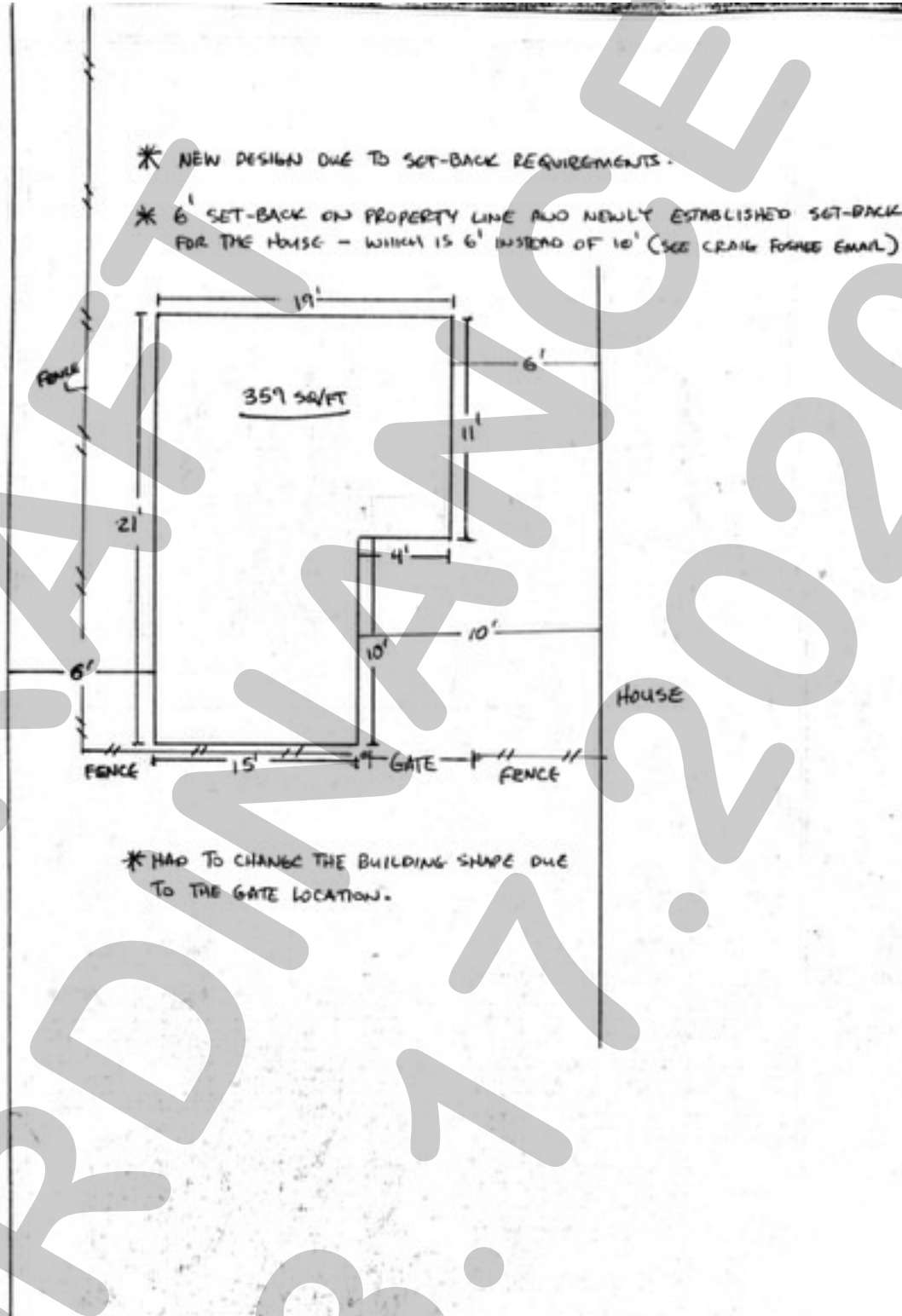


Exhibit 'C':
Conceptual Building Elevations

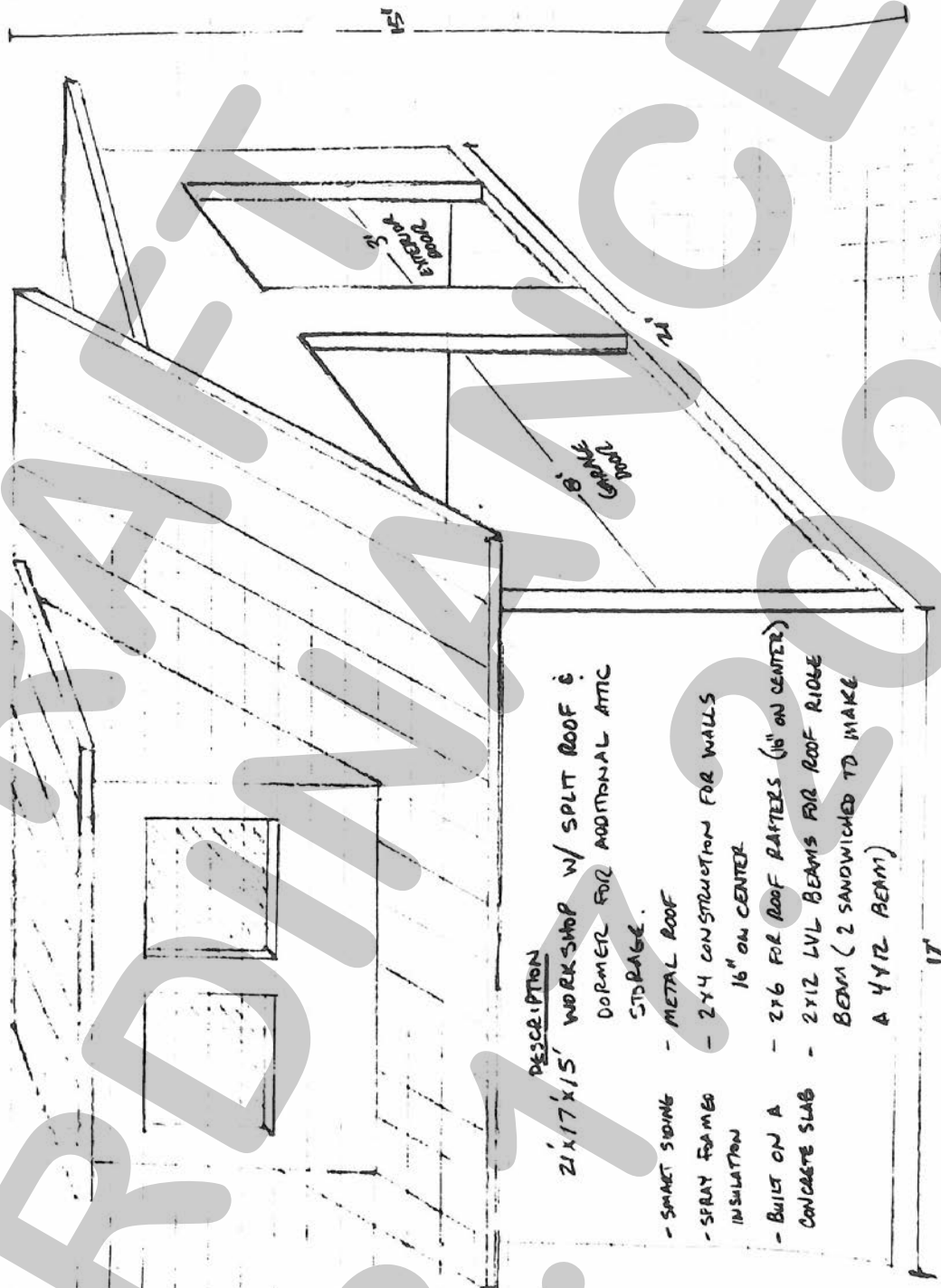


Exhibit 'C':
Conceptual Building Elevations



MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
AUGUST 11, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

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I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:03 PM. Commissioners present were John Womble, Tracey Logan, Sedric Thomas, Annie Fishman, and Mark Moeller. Absent from the meeting was Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, and Civil Engineer Jeremy White. Absent from the meeting were City Engineer Amy Williams and Civil Engineer Sarah Johnston.

II. OPEN FORUM

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Chairman Chodun closed the open forum.

III. APPOINTMENTS

- 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

Planning and Zoning Director Ryan Miller gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.

IV. CONSENT AGENDA

- 2. Approval of Minutes for the July 28, 2020 Planning and Zoning Commission meeting.
- 3. **SP2020-012 (DAVID GONZALES)**
Discuss and consider a request by Cody Johnson of Cody Johnson Studio, LLC on behalf of Jose Campos of Hines for the approval of a Site Plan for the *amenities center* for the Saddle Star Estates Subdivision being a 0.782-acre portion of a larger two (2) acre tract of land identified as Tract 1 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.
- 4. **SP2020-017 (DAVID GONZALES)**
Discuss and consider a request by Jimmy McClintock of HWY 66 Properties, LP for the approval of a Site Plan for an *office building* on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street, and take any action necessary.

Commissioner Sedric Thomas made a motion to approve the consent agenda. Commissioner John Womble seconded the motion which passed by a vote of 6-0 with Vice-Chairman Welch absent.

V. PUBLIC HEARING ITEMS

- 5. **Z2020-030 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use Permit (SUP) of an accessory building that exceeds the maximum square footage. According to the Unified Development Code (UDC), an accessory building in a Single-Family 10 (SF-10) District is limited to 144 square feet with a 3-foot rear setback, a 6-foot side setback, and a 15-foot total overall height. The structure is also required to be 6-feet from the primary structure. According to the new plans provided, the applicant is now in compliance with all setback and height requirements even though the structure itself is 359 square feet. The exterior of the structure is going to be a smart lap-siding and a standing seam metal roof which will be complimentary to the primary structure. Any approval of a specific use permit is a discretionary decision for the City Council pending a

58 recommendation from the Planning and Zoning Commission. In accordance with all zoning case, Staff sent out 100 notices to property
59 owners and residents within 500-feet of the subject property on July 23, 2020. Any Homeowners Associations within 1500- feet of the
60 property were also notified. Mr. Miller mentioned that one of the conditions of approval of this case was that the applicant was required,
61 if approved, to submit a letter from a structural engineer certifying that the recently built retaining wall can support that building's weight
62 before a building permit is issued. Mr. Miller advised the Commission that the applicant and Staff were present to answer questions.
63

64 Commissioner Logan had a question in regards to the retaining wall on the property and on the carports on the area.

65 Commissioner Womble had a question in regards to the property blocking the lake views.

66
67 Commissioner Fishman asked if this was the only accessory structure on the property and, if approved, would it limit the applicant to
68 have additional ones in the future.
69

70
71 Chairman Chodun asked the applicant to come forward.

72
73 Mark Klecha
74 407 W. Washington Street
75 Rockwall, TX 75087
76

77 Mr. Klecha came forward and was prepared to answer additional questions.

78
79 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so at this time.
80

81 Doug Hamilton
82 1774 Baywatch Drive
83 Rockwall, TX 75087
84

85 Mr. Hamilton came forward and provided a brief history of himself and his property and explained that the structure would not obstruct
86 the lake views from the property. He expressed his favor in regards to the request.
87

88 Chairman Chodun asked if there was anyone else who wished to speak. There being no one doing such, Chairman Chodun closed the
89 public hearing and brought the item back to the Commission for discussion or action.
90

91 Commissioner Logan expressed her opposition to the size of the accessory structure.
92

93 Commissioner Moeller shared concerns with Commissioner Logan in regards to size but understood there was confusion surrounding
94 the case and why the applicant started the process beforehand.
95

96 Commissioner Womble expressed his opposition in regards to the size of the structure as well.
97

98 Chairman Chodun expressed his being in favor of the request.
99

100 Commissioner Moeller made a motion to approve item Z2020-030 with staff recommendations. Commissioner Fishman seconded the
101 motion which passed by a vote of 4-2, with Commissioners Logan and Womble dissenting.
102

103 Chairman Chodun advised the applicant that the case would go before the City Council on August 17, 2020.
104

105 6. Z2020-031 (RYAN MILLER)

106 Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners C. D. T.
107 Rockwall 2017, LLC for the approval of a Zoning Amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-39]
108 for the purpose of amending the development standards contained in Ordinance No. 16-39 for a 70.408-acre tract of land
109 identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas,
110 zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-
111 Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King
112 Boulevard and Featherstone Drive, and take any action necessary.
113

114 Planning and Zoning Director Ryan Miller provided a brief background in regards to the request. The property was originally zoned in
115 2016 and is commonly referred to Saddle Star Estates South. At the time of approval, the original zoning allowed 113 lots that were 70 x
116 125-foot and all the garage orientations were either a traditional swing or j-swing with both of these conforming to the requirements of
117 the Unified Development Code at that time. In October of 2016, the applicant requested to amend the Planned Development district to
118 add 25 lots along with adding additional area to the Planned Development district. Along with this request, the applicant also requested
119 to allow 80% front entry garages in the subdivision and was ultimately approved 50% front entry by the City Council. In September 2019,
120 the applicant submitted a subsequent request to amend the Planned Development District to add 38 additional lots to bring the total to
121 176 lots. All of the proposed 80x100 foot lots were to have a traditional swing or j-swing orientation. The request brought before the
122 Commission tonight is for the applicant to have the ability have 30% of the lots in a flat front entry format. The remaining 70% of the lots
123 are to be either in a traditional swing or modified swing format. Mr. Miller then explained the four (4) different format for the garages

321 Commissioner Chodun stated that he was in agreeance with the Commissioners and he knew the applicant's intentions were good but
322 maybe the applicant need to have more discussions with the City to reach a resolution.
323

324 Commissioner Logan then asked for clarification on what exactly they were voting on.
325

326 Mr. Miller explained that the approval would be of incidental display. And the applicant would be requesting 5 variances and it would
327 cause 10 compensatory measures.
328

329 Mr. Miller explained that the applicant is requesting to amend the site plan to add the incidental display. Incidental display has very
330 specific standards in the Code. What the applicant is requesting to do is similar to outside sales which are not allowed and the only way
331 to facilitate it would be through the incidental display. The incidental display outlines exactly what you can and cannot do and the
332 applicant does not meet the majority of those requirements. Each one that he does not meet is a variance or exception and the only way
333 to request exceptions in the code is to provide offsetting compensatory measures. In this case, the applicant is requesting five (5)
334 variances and, in order to meet the code, he would need to provide ten (10) offsetting compensatory measures. There is not enough
335 space for him to be able to meet those measures so he is basically requesting the exceptions not in conformance to the code. What the
336 Commission would be approving would be a request that doesn't conform to the incidental display requirements.
337

338 Commissioner Womble made a motion to deny item SP2020-015 without prejudice. Commissioner Thomas seconded the motion which
339 passed by a vote of 6-0.
340

341 VII. DISCUSSION ITEMS

342 11. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
343
344

- 345 • P2020-028: Replat for Lot 9, Block A, Bodin Industrial Tract [APPROVED]
- 346 • Z2020-023: SUP for *Residential Infill Adjacent to an Established Subdivision* for 54 Shadydale Lane [APPROVED; 2ND
347 READING]
- 348 • Z2020-024: Zoning Amendment to Planned Development District 78 (PD-78) [APPROVED; 2ND READING]
- 349 • Z2020-025: SUP for a *General Retail Store and Hair Salon and/or Manicurist* for 507 N. Goliad Street [APPROVED; 2ND
350 READING]
- 351 • Z2020-027: SUP for a *General Retail Store and Banquet Facility/Event Hall* for 803 N. Goliad Street [APPROVED; 2ND
352 READING]
- 353 • Z2020-028: Zoning Amendment to Planned Development District 10 (PD-10) [APPROVED; 2ND READING]
- 354 • Z2020-029: Zoning Change (AG to SFE-2.0) [APPROVED; 2ND READING]

355
356 Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council
357 meeting.
358

359 VIII. ADJOURNMENT

360
361 Chairman Chodun adjourned the meeting at 7:25 PM.
362

363 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this
364 25 day of August, 2020.
365
366

367 _____
368 Eric Chodun, Chairman
369

370 Attest:

371 _____
372 Angelica Gamez, Planning and Zoning Coordinator



MINUTES

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, August 17, 2020 - 5:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Pruitt called the meeting to order at 5:00 p.m. Present were Mayor Jim Pruitt, Mayor Pro Tem Kevin Fowler and Council Members Anna Campbell, John Hohenshelt, Bennie Daniels and Trace Johannesen. Also present were City Manager Rick Crowley and Assistant City Managers Mary Smith and Joey Boyd. City Attorney Frank Garza joined Ex. Session via telephone. Councilmember Dana Macalik arrived to the meeting and joined Ex. Session at 5:05 p.m.

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments & Planning and Zoning Commission), pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

Consent Agenda Item # 2. Consider approval of an ordinance reducing the City of Rockwall's Extraterritorial Jurisdiction (ETJ) by releasing a 3,796.18 acre tract of land generally located South of FM-550, North and West of FM-548, and East of Edwards Road to the County of Rockwall, and take any action necessary. (2nd Reading)

Action Item #1. P2020-029 - Discuss and consider a request by DR Horton – Texas, LTD on behalf of DMDS Land Company, LLC for the approval of a Preliminary Plat for River Rock Trails, Phase 1A Addition being a 35.28-acre portion of a larger 1,225.721-acre tract of land identified as Tract 11 of the F. Baugess Survey, Abstract No. 7, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally north of the intersection of FM-548 and High Plains Trail, and take any action necessary. pursuant to Section §551.071 (Consultation with Attorney)

III. ADJOURN EXECUTIVE SESSION

Council adjourned from Ex. Session at 5:25 p.m.

IV. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Pruitt reconvened the public meeting at 6:02 p.m. with all seven city council members being present.

V. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER CAMPBELL

CORPORATE BOUNDARIES OF THE CITY OF ROCKWALL; PROVIDING FOR AMENDING AND CORRECTING THE OFFICIAL CORPORATE AND EXTRATERRITORIAL BOUNDARIES OF THE CITY AS HERETOFORE ADOPTED AND CORRECTING THE OFFICIAL CITY MAPS; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

X. PUBLIC HEARING ITEMS

- 1. Z2020-030** - Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of an ordinance for a *Specific Use Permit (SUP)* for an *accessory building that exceeds the maximum square footage* on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary (1st Reading).

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to property owners located within 500' of the subject property, with four notices having been received back in favor and one notice receive in opposition.

Mayor Pruitt opened the public hearing. The applicant briefly came forth and indicated he would be happy to answer any questions council may have. There being no one else wishing to come forth and speak, Mayor Pruitt then closed the Public Hearing.

General discussion ensued pertaining to the applicant's request and what he is wanting to do. Extensive discussion also took place pertaining to the way the city's code(s) is currently written pertaining to these types of structures and if, potentially, those regulations need to be changed.

Mayor Pro Tem Fowler moved to approve Z2020-030. Mayor Pruitt seconded the motion. The ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 20-XX
SPECIFIC USE PERMIT NO. S-XXX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

unanimously of those present. Johannesen then moved to newly appoint to the Park Board Amanda Fowler (to replace Charles Johnson). Councilmember Macalik seconded the motion, which passed by a vote of 6 ayes to 1 abstention (Fowler).

Mayor Pro Tem Fowler moved to reappoint Steve Albers and Gary Freedman to the Animal Advisory Board. Councilmember Campbell seconded the motion, which passed by a vote of 7 ayes to 0 nays.

Councilmember Campbell moved to appoint Gary Cannavo to the Main Street Advisory Board (to replace Stuart Smith for a term to expire in Jan. of 2022). Councilmember Daniels seconded the motion, which passed by a vote of 7 ayes to 0 nays.

XII. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments & Planning and Zoning Commission), pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

XIII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council did not convene in Ex. Session following the close of the public meeting agenda.

XIV. ADJOURNMENT


Mayor Pruitt adjourned the meeting at 7:36 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 8th DAY OF SEPTEMBER, 2020.



JIM PRUITT, MAYOR

ATTEST:



KRISTY COLE, CITY SECRETARY





MINUTES

ROCKWALL CITY COUNCIL REGULAR MEETING

Tuesday, September 08, 2020 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Pruitt called the public meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt, Mayor Pro Tem Kevin Fowler and Council Members Anna Campbell, Dana Macalik, John Hohenshelt, Bennie Daniels and Trace Johannesen. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Joey Boyd and City Legal Counsel, Patrick Lindner.

II. WORK SESSION

1. Hold a work session on itinerant vendors to discuss and consider changes to Article III, *Peddlers, Solicitors, and Itinerant Vendors*, of Chapter 12, *Businesses and Sales*, of the Municipal Code of Ordinances, and take any action necessary.

Planning Director, Ryan Miller, briefed the Council on proposed changes to this portion of the Code, mainly related to changes associated with itinerant vendors. Council took no action concerning this work session item at this time. However, Mayor Pruitt pointed out that this topic is listed as an "Action Item" on tonight's agenda. Council members generally indicated that they would like to take action on this later this evening.

2. Hold a work session on residential accessory structures to discuss changes to Article 05, *District Development Standards*, of the Unified Development Code (UDC), and take any action necessary.

Planning Director, Ryan Miller, briefed Council on this topic. No action was taken as a result of this work session discussion. Indication was given that staff will bring forth formal changes to the ordinance provisions at a future Council meeting.

Mayor Pruitt read the following discuss items into the public record before recessing the meeting to go into Executive Session at 4:53 p.m.

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding City Manager employee evaluation, pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion and interviews regarding appointments to city regulatory boards, commissions, and committees (Rockwall Economic Development Corporation (REDC), Board of Adjustments & Planning and Zoning Commission), pursuant to Section 551.074 (Personnel Matters)

Mayor Pruitt provided brief comments pertaining to the RCAD in general and to this proposed expansion request. He expressed that he believes this request is needed and reasonable.

Councilmember Johannesen moved to approve the RCAD's expansion proposal, as presented. Councilmember Daniels seconded the motion, which passed by a vote of 6 ayes with 1 abstention (Hohenshelt).

XII. PUBLIC HEARING ITEMS

1. Hold a public hearing to receive comments regarding the Proposed FY2021 City of Rockwall Budget and tax rate and take any action necessary.

City Manager Rick Crowley provided introductory comments pertaining to this agenda item. He generally indicated that this budget reflects a very conservative approach, especially in light of COVID-19 and its potential impacts on the local economy. He went on to explain that the city's charter does allow for budget amendments, so staff will remain mindful of this and will be sure to come to Council, accordingly, should the need for amendment requests arise.

Following Mr. Crowley's comments, Mayor Pruitt shared that a work session on the budget was held with staff and Council about two weeks ago.

Mrs. Mary Smith, Assistant City Manager/Finance Director, then provided comments, sharing a little more details regarding 'numbers' associated with both the budget and proposed tax rate.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time.

Bob Wacker
309 Featherstone Drive
Rockwall, TX

Mr. Wacker came forth and shared that he lives in a very vibrant area of the city. He generally encouraged that the City consider finding additional revenue sources in the future. He acknowledged that City of Rockwall residents enjoy one of the lowest (total) tax bills of any other place/county in the area. He thanked the Council for all it does.

There being no one else wishing to come forth and speak, Mayor Pruitt closed the public hearing.

Mayor Pruitt moved to advertise the adoption of the tax rate on September 21, 2020 at a rate of .3700 per \$100 of valuation. Mayor Pro Tem Fowler seconded the motion. Following brief, clarifying comments, the motion passed by a vote of 6 ayes to 1 nay (Macalik).

XIII. ACTION ITEMS

1. **22020-030** - Discuss and consider a request by Mark Klecha for the approval of an ordinance for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall,

Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary (2nd Reading).

Mayor Pro Tem Fowler moved to approve Z2020-030. Councilmember Hohenshelt seconded the motion. The ordinance was read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 20-34
SPECIFIC USE PERMIT NO. S-231**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 5 ayes with 2 nays (Daniels, Macalik).

2. P2020-031 - Discuss and consider a request by Kerry Joshua Sparks for the approval of a *Final Plat* for Lot 1, Block A, Sparks Six Addition being a 2.88-acre tract of land identified as Tract 3-03, 3-05, & 3-07 of the M. Simmons Survey, Abstract No. 194, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located on the west side of Old Millwood Road north of the intersection of Old Millwood Road and FM-552, and take any action necessary.

Planning Director Ryan Miller provided background information pertaining to this agenda item. Councilmember Johannesen asked for clarification on the lot frontage requirements, and Mr. Miller provided said clarification.

Councilmember Johannesen moved to approve P2020-031. Councilmember Macalik seconded the motion, which passed unanimously of those present (7 ayes to 0 nays).

3. Discuss and consider proposal from Republic Waste to extend the current Solid Waste Collection agreement and take any action necessary.

Mary Smith, Assistant City Manager / Finance Director, introduced Rick Bernas from Republic Waste. Mr. Bernas came forth and provided brief comments to Council, generally indicating that his company is requesting a five-year extension of the current contract. There has been about a 37% increase in residential volume since COVID-19 hit. He went on to share details of what Republic did for its own employees during COVID (i.e. buying lunch for its employees and their families (up to 4 people) every Friday and issuing gift cards to stimulate the local economy).

City Manager Rick Crowley pointed out that he gave each council member a handout related to the countywide roadway traffic consortium and its recent activities. He encouraged the Council to be thinking about what future roadway related projects it would like to see, as the consortium is seeking said input from each member entity that participates in these countywide roadway planning projects.

Mayor Pruitt then indicated that Council would be going back into Executive Session to address item #1 shown below. He recessed the public meeting to do so at 7:30 p.m.

XV. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding City Manager employee evaluation, pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion and interviews regarding appointments to city regulatory boards, commissions, and committees (Rockwall Economic Development Corporation (REDC), Board of Adjustments & Planning and Zoning Commission), pursuant to Section 551.074 (Personnel Matters)
4. Discussion regarding the appeal to the Public Utility Commission filed by the cities of Garland, Mesquite, Plano and Richardson against the North Texas Municipal Water District (NTMWD) regarding water rates pursuant to Section §551.071 (Consultation with Attorney)

XVI. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council came out of Ex. Session and took no action.

XVII. ADJOURNMENT

Mayor Pruitt adjourned the meeting at 8:25 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 21ST DAY OF SEPTEMBER, 2020.



JIM PRUITT, MAYOR

ATTEST:



KRISTY COLE, CITY SECRETARY



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 11 (PD 11) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE HEIGHT AND SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an *accessory building* that exceeds the maximum allowable height and size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this Specific Use Permit (SUP) ordinance shall supersede all requirements stipulated by *Ordinance No. 20-34 [S-231]*; and,

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified

Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 570 SF (i.e. 330 SF – 1st floor & 240 SF – 2nd floor).
- (3) The *Accessory Building* shall not exceed a height of more than 16-feet, 6-inches.
- (4) The *Accessory Building* shall not be used as a guest quarters/secondary living unit.
- (5) The subject property shall not have more than one (1) accessory building.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of

any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

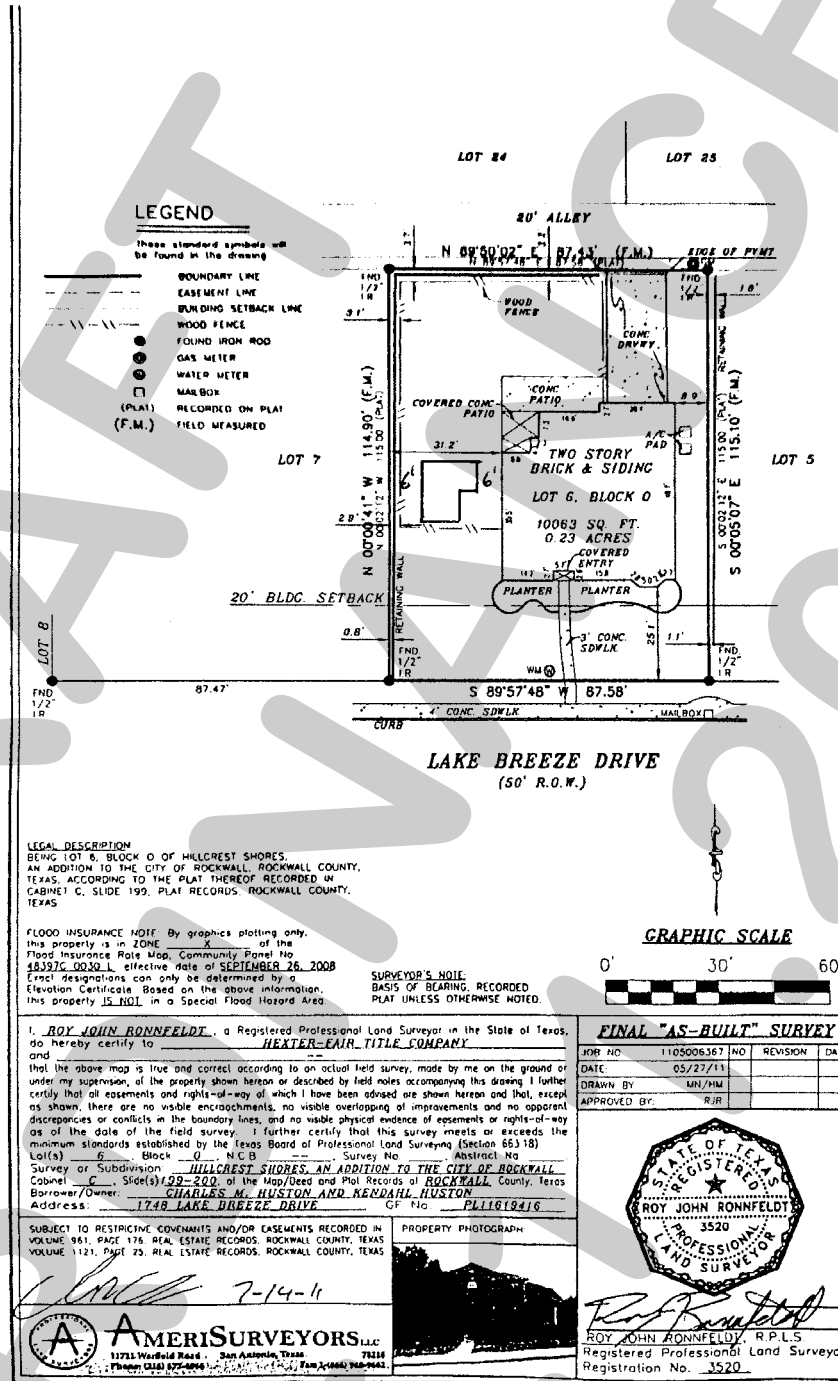
Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive

Legal Description: Lot 6, Block O, Hillcrest Shores Addition



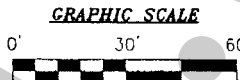
**Exhibit 'B':
Site Plan**



LEGAL DESCRIPTION
 BEING LOT 6, BLOCK 0 OF HILLCREST SHORES,
 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY,
 TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN
 CABINET C, SLIDE 199, PLAT RECORDS, ROCKWALL COUNTY,
 TEXAS.

FLOOD INSURANCE NOTICE By graphics plotting only,
 this property is in ZONE X of the
 Flood Insurance Rate Map, Community Panel No
48397C 0000 L effective date of SEPTEMBER 26, 2008
 Exact designations can only be determined by a
 Elevation Certificate. Based on the above information,
 this property IS NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
 BASIS OF BEARING, RECORDED
 PLAT UNLESS OTHERWISE NOTED.



I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas,
 do hereby certify to HEXTER-EAR, TITLE COMPANY
 and
 that the above map is true and correct according to an actual field survey, made by me on the ground or
 under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further
 certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except
 as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent
 discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way
 as of the date of the field survey. I further certify that this survey meets or exceeds the
 minimum standards established by the Texas Board of Professional Land Surveying (Section 653.18)
 I(1)(s) B, Block 0, N.C.B. Survey No. Abstract No.
 Survey or Subdivision HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL
 Cabinet C, Sheet(s) 199-200 of the Map/Deed and Plat Records of ROCKWALL County, Texas
 Borrower/Owner: CHARLES M. HUSTON AND KENDAH HUSTON
 Address: 1748 LAKE BREEZE DRIVE GF No. PL11619416

FINAL "AS-BUILT" SURVEY		
JOB NO.	1105006367	NO. REVISION DATE
DATE	05/27/11	
DRAWN BY	MJ/HM	
APPROVED BY:	RJR	

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN
 VOLUME 961, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS
 VOLUME 1121, PAGE 75, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



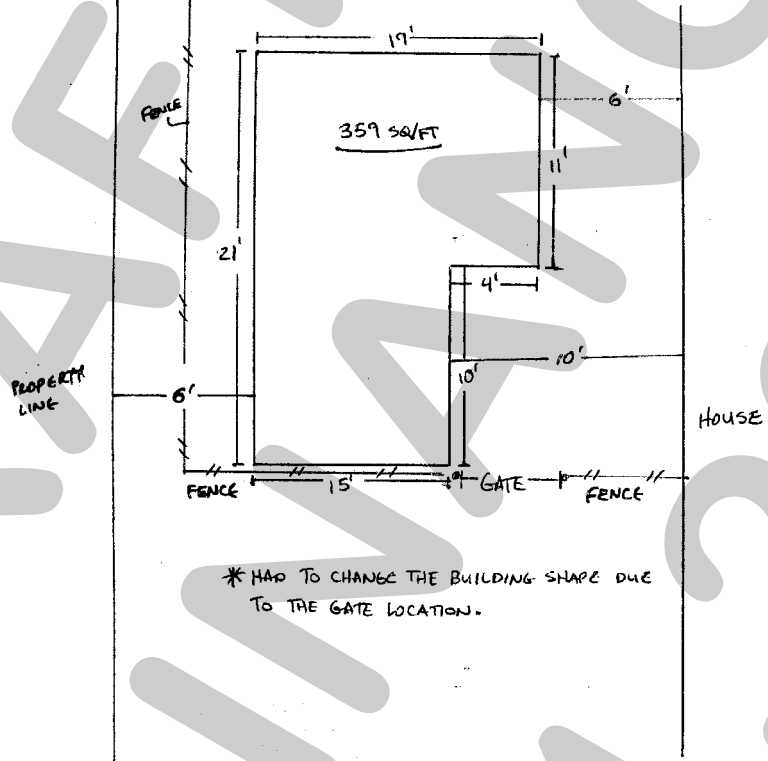
Roy John Ronnfeldt
 ROY JOHN RONNFELDT, R.P.L.S.
 Registered Professional Land Surveyor
 Registration No. 3520

Roy John Ronnfeldt 7-14-11
AMERISURVEYORS, LLC
 11721 Woodfield Road - San Antonio, Texas 78248
 Phone: (214) 577-0994 Fax: (214) 577-0942

Exhibit 'B':
Site Plan

* NEW DESIGN DUE TO SET-BACK REQUIREMENTS -

* 6' SET-BACK ON PROPERTY LINE AND NEWLY ESTABLISHED SET-BACK FOR THE HOUSE - WHICH IS 6' INSTEAD OF 10' (SEE CRAIG FORBEE EMAIL)



* HAD TO CHANGE THE BUILDING SHAPE DUE TO THE GATE LOCATION.

Exhibit 'C':
Conceptual Building Elevations

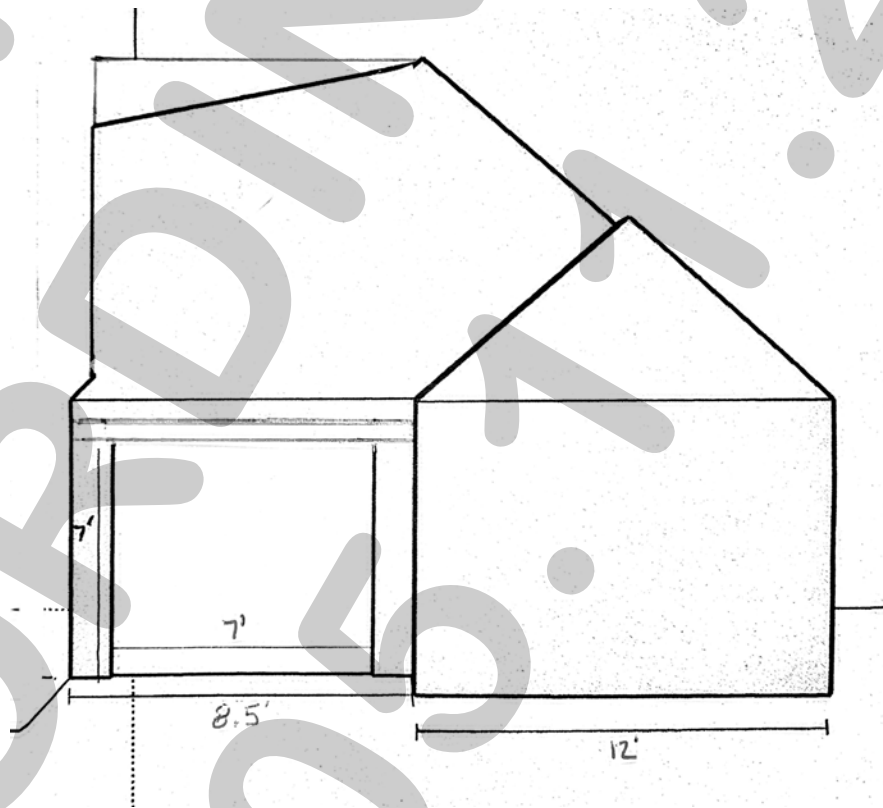
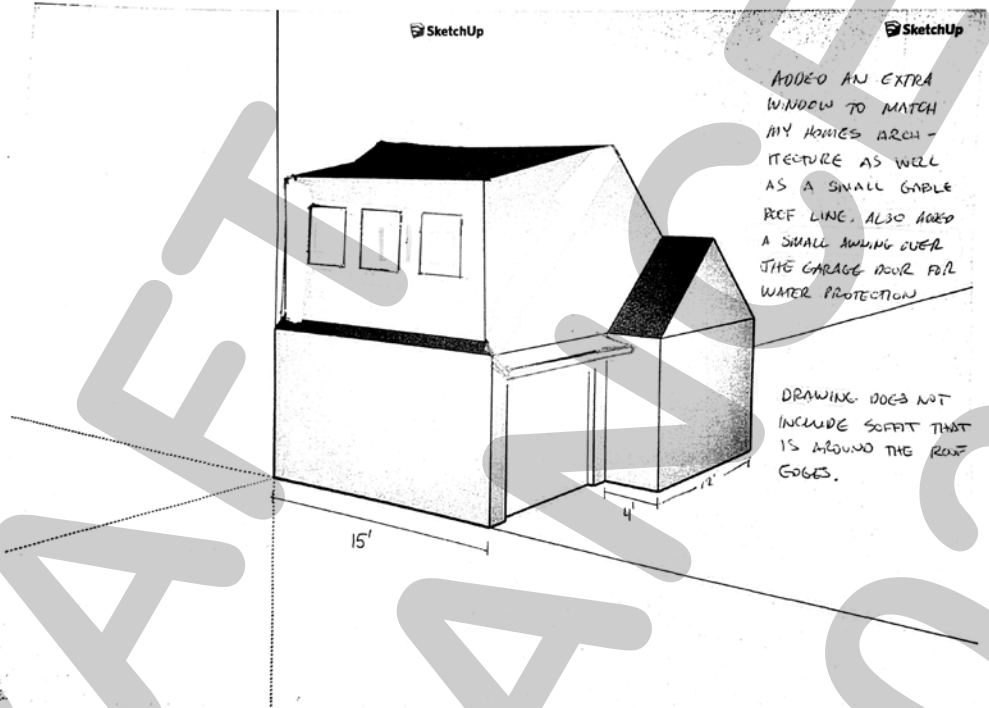
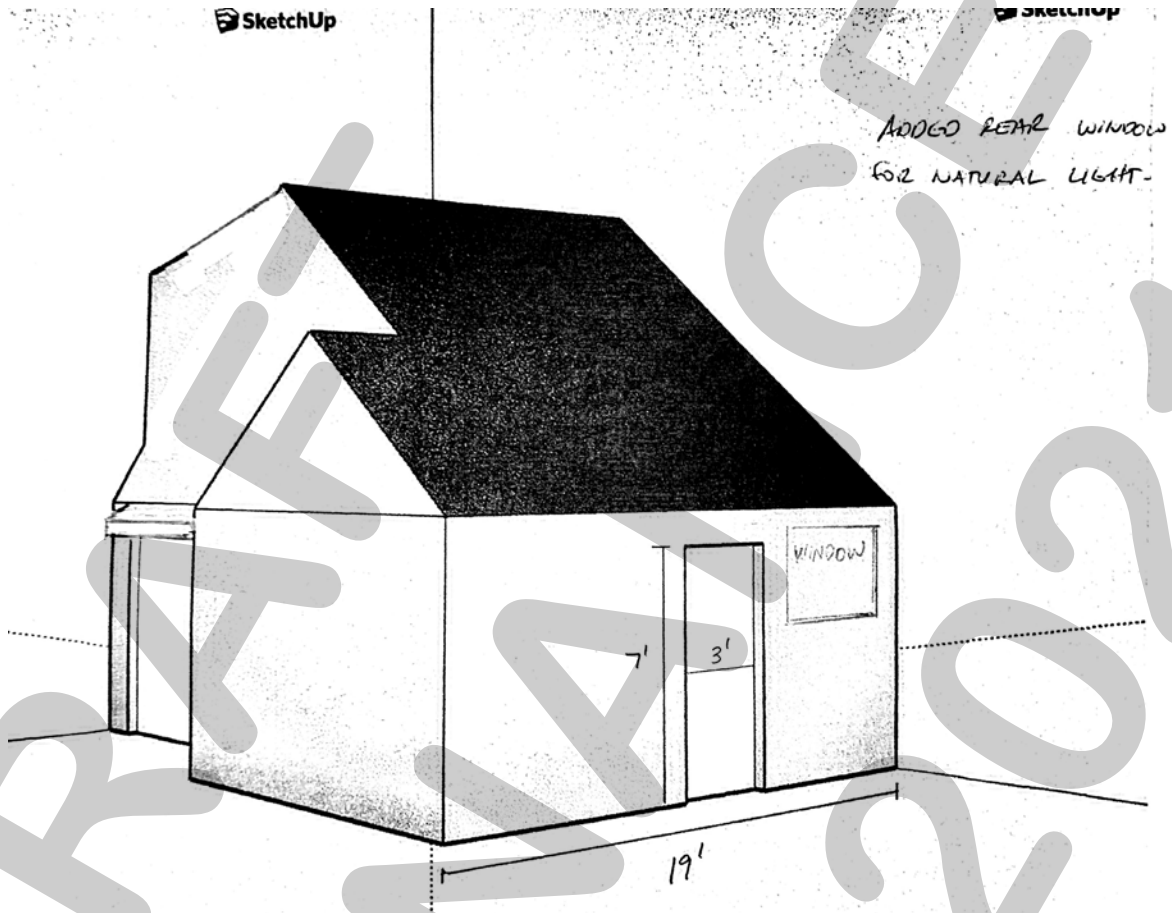


Exhibit 'C':
Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Kristi Bryant
CASE NUMBER: Z2021-011; *Specific Use Permit (SUP) for an Existing Greenhouse on 804 S. Alamo Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Road, and take any action necessary.

BACKGROUND

The subject property was annexed prior to August 25, 1934 according to the 1934 Sanborn Maps. Based on the January 3, 1972 zoning map, the subject property was zoned Single Family 2 (SF-2) District. On June 1, 1972 the subject property was platted as Lots 5 & 6, Block A, Highridge Estates Addition. According to Rockwall Central Appraisal District (RCAD), a 3,422 SF single-family home was constructed on Lot 5, Block A, Highridge Estates Addition (710 S. Alamo Road) in 1981. In 1983, a 528 SF addition, a 792 SF attached garage, and 70 SF covered porch were constructed onto the single-family home. Sometime between January 3, 1972 and May 16, 1983 the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single Family 10 (SF-10) District. No other changes have been made to the subject property since the addition in 1983.

On March 10, 2021, the applicant was sent a *Notice of Code Violation* for the construction of a greenhouse (*i.e. accessory building*) without a building permit (*Case No. CE2021-996*). A copy of this notice has been included in the attached packet for the Planning and Zoning Commission's review. Based on this notice, the applicant contacted the Building Inspections Department to seek the necessary permits for the greenhouse; however, since the structure exceeded the maximum permissible size, the property owners was told that she would have to request a Specific Use Permit (SUP).

PURPOSE

The property owner and applicant -- *Kristi Bryant* -- is requesting the approval of a Specific Use Permit (SUP) to permit an accessory building that was constructed on a gravel foundation without a building permit and that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 804 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.50-acre parcel of land developed with a single-family home situated on it (706 S. Alamo Road). Beyond this are two (2) vacant parcels of land (702 & 704 S. Alamo Road). North of this is W. Boydston Avenue, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond W. Boydston Avenue is 9.43-acre parcel of land that is developed with *House of Worship (i.e. First Baptist Church)*. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are seven (7) lots developed with residential homes that are zoned Single Family 10 (SF-10) District. Beyond this is Glenn Avenue, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Alamo Road, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) lots developed with residential homes (801, 803, & 805 S. Alamo Road) that are zoned Zero Lot Line (ZL-5) District. East of this is a parking lot situated on a 1.80-acre parcel of land zoned General Retail (GR) District. Beyond this is S. Goliad Street, which is identified as a P6D (*i.e. principal arterial, six lane [6] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is one (1) vacant parcel of land (709 Forest Trace) and two (2) lots developed with single-family homes (711 & 713 Forest Trace). All of these properties are zoned Single Family 10 (SF-10) District. Beyond this is Forest Trace, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) rows of residential homes that are zoned Single Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and photos requesting to permit a 288 SF greenhouse (*i.e. accessory building*) that was constructed without a building permit. The applicant has indicated that the accessory building is ten (10) feet in height and is situated on a gravel foundation. Based on the information provided by the applicant, the accessory building is 12-feet by 24-feet (*or 288 SF*). The exterior of the building is composed of a wood frame, with aluminum supports, and plexiglass panels. The proposed building is situated at the rear of the southernmost lot that makes up a portion of the subject property. This structure is approximately situated 8.25-feet from the rear property line and 17.67-feet from the southern side yard property line.

CONFORMANCE TO THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. Accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback and height requirements for accessory buildings; however, the size of the accessory building exceeds the maximum permissible size by 144 SF. Staff performed a review using aerial imagers of the surrounding area (*i.e. a total of 26 single-family homes are in this area*) and determined only two (2) of the 26 homes surveyed had accessory structures. These accessory structures were estimated to measure 90 SF and 616 SF. Staff should note that the existing accessory structure does not have a concrete foundation, and as part of the draft ordinance for this Specific Use Permit (SUP) request a condition of approval allows the structure to remain on the existing gravel foundation. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 26, 2021, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Brent Creek Condos, Stonebridge Meadows, and the Highridge Estates Homeowners Associations (HOAs), which is are the only HOA's/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received one (1) notice within the notification area in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an accessory building on a gravel foundation that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The *Accessory Building* shall not exceed a maximum size of 288 SF.
 - (c) The subject property shall not have more than one (1) accessory building.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2021-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

† IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 804 S. Alamo Road

SUBDIVISION Highridge Est

LOT 5

BLOCK A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kristi Bryant

APPLICANT Same

CONTACT PERSON

CONTACT PERSON

ADDRESS 710 S. Alamo Rd

ADDRESS

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-989-7005

PHONE

E-MAIL Kristi and brent a@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kristi + Brent Bryant [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 21500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

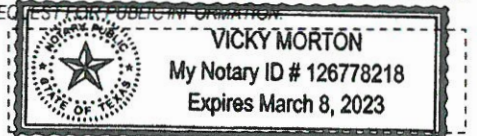
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF April, 2021

OWNER'S SIGNATURE

[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature: Vicky Morton]



MY COMMISSION EXPIRES

March 8, 2023



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

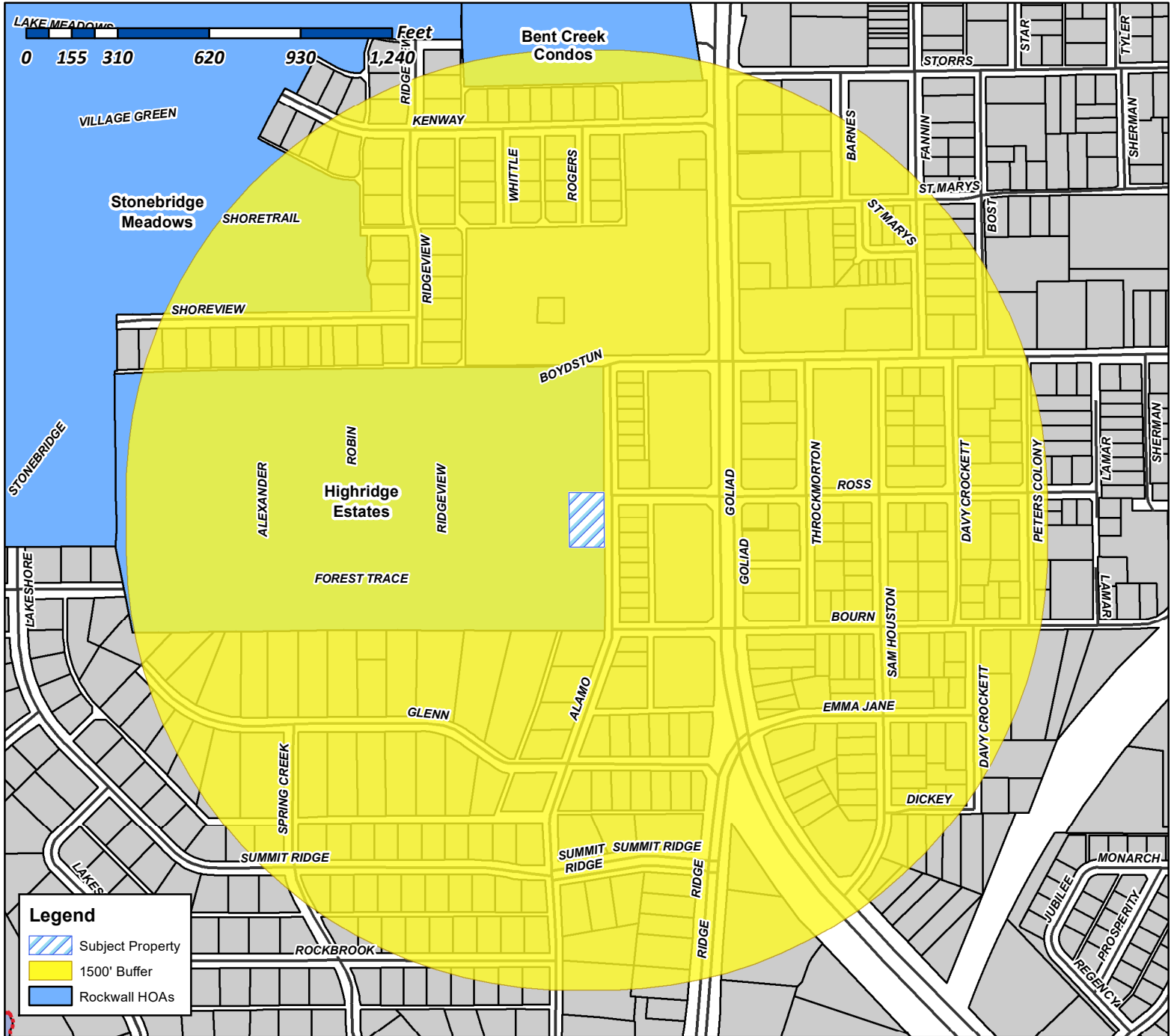




City of Rockwall

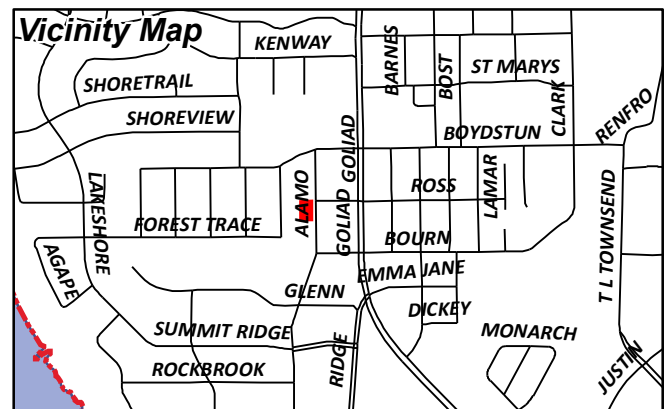
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-011
Case Name: SUP for A Greenhouse
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 710 & 804 S. Alamo Road

Date Created: 4/19/2021
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Friday, April 23, 2021 3:34 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Map [Z2021-011]
Attachments: Public Notice (04.27.2021).pdf; HOA Map Z2021-011.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on April 23, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-011 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

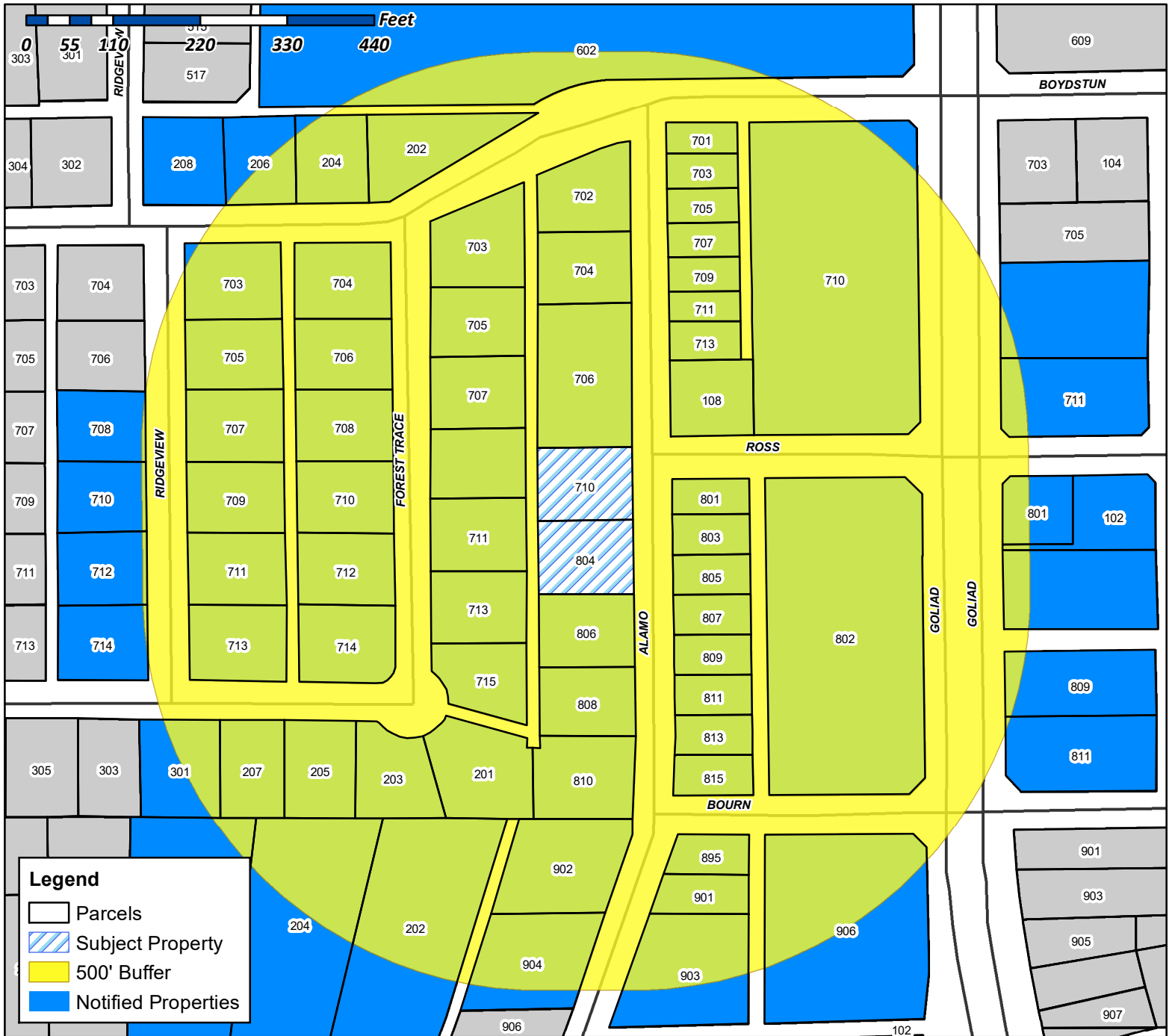
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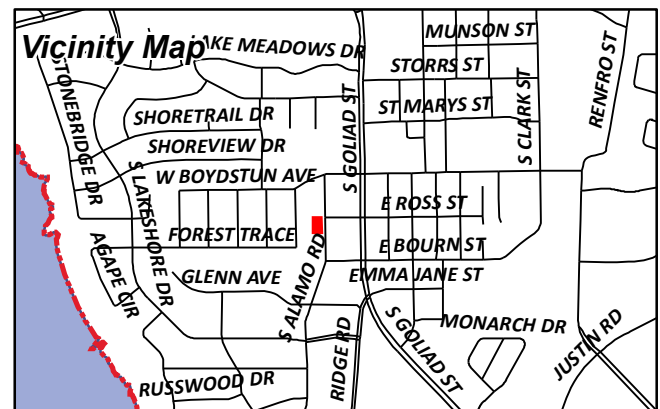
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-011
Case Name: SUP for A Greenhouse
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 710 & 804 S. Alamo Road



Date Created: 4/19/2021
For Questions on this Case Call (972) 771-7745

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

MILLS CHARLES O
108 ROSS AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUSS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

UPTON RHONDA D AND CHUCK L
206 W BOYDSTUN AVE
ROCKWALL, TX 75087

TABOR WHITNEY J
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
6104 LYNDON B JOHNSON FREEWAY APT#2502
DALLAS, TX 75240

SCUDDER PERRIN AND SHELLY K HARPER
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

OTTO IRIS
702 S ALAMO DR
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
703 FOREST TRCE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

BAUMANN HARRY EDWARD
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

MILLS CHARLES O
704 S ALAMO DR
ROCKWALL, TX 75087

MEINECKE ANGELA AND JEFFERY
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

SCUDDER PERRIN AND SHELLY K HARPER
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

SCUDDER PERRIN AND
SHELLY K HARPER
707 S ALAMO
ROCKWALL, TX 75087

WILSON CATHI E AND GLEN H
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

RADNEY JAMES C
710 RIDGEVIEWDR
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

MILLER FRANK
711 S GOLIAD ST
ROCKWALL, TX 75087

GRAY JIM & KATHERINE
712 FOREST TRCE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

LEITHE KURT
7702 STONEHAVEN DR
ROWLETT, TX 75089

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO RD
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD
ROCKWALL, TX 75087

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-011: SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 17, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-011: Specific Use Permit for Accessory Building

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Lee, Henry

From: Planning
Sent: Friday, April 23, 2021 8:04 AM
To: Lee, Henry
Subject: FW: Zoning notice at 710 S. Alamo Rd

From: Sharon Edwards [mailto:prescription4life@hotmail.com]
Sent: Thursday, April 22, 2021 3:15 PM
To: Planning
Subject: Zoning notice at 710 S. Alamo Rd

Dear zoning department,
Please explain the zoning notice.

I reached out to the permit department on March 6th, 2021 concerning an unapproved greenhouse that was installed without a permit that does not match the existing architecture.
The greenhouse is in violation of required setbacks. There have been numerous unpleasant odors emitted from the residence. Not only is the barn type structure unsightly and diminishes my property value the family continually burns trash and tree limbs a few feet off my fence on open ground. I contacted the Fire Marshall concerning this fire hazard. The residence is also behind on city tax payments. The family also parks a school bus on the property on a regular basis. I have also witnessed multiple non family residents living in the back yard in tents. This family apparently has no regard for civil process or respect for city laws and ordinance.
Please update me on the hearings dates and rulings so I may attend with my protest.
I expect due process concerning my property rights as a citizen of Rockwall as well. As a fellow citizen I was held accountable for precise adherence to code restrictions and rules while construction was ongoing on my property over the past several seasons. I expect there to be no discrimination personally by holding my residence to stricter standards and relaxing standards for another neighbor.
Thanks
Sharon French
[469-338-3112](tel:469-338-3112)

Sent from my Verizon LG Smartphone

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-011: SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by Kristi Bryant for the approval of a Specific Use Permit (SUP) for an Accessory Building for the purpose of allowing an existing greenhouse on a 0.496-acre tract of land identified as Lot 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 17, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-011: Specific Use Permit for Accessory Building

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

- 1) Unsightly and Unsafe
- 2) Blocks Drainage
- 3) Breaks Precedent

Name: Sharon French
Address: 806 S. Alamo Rd Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-011
 Case Name: SUP for A Greenhouse
 Case Type: Zoning
 Zoning: Single-Family 10 (SF-10) District
 Case Address: 710 & 804 S. Alamo Road

Date Created: 4/19/2021
 For Questions on this Case Call (972) 771-7745



May 6, 2021

Dear City Commissioners and Board,

I am writing today in reference to Z2021-011 request by Kristi Bryant for a special use permit for an accessory building greenhouse discussed in the April 27th Planning and zoning meeting. I own the property at 806 S. Alamo Rd adjacent to Mrs. Bryant.

My concern today is upholding a standard that is consistent with Rockwall living. It is not to find fault or assign blame to anyone. This community prides itself in development and new growth. As we grow we need to follow ordinances and regulations while we exemplify consideration for our neighborhoods.

High Ridge Estates was developed in the 1970's and contains infrastructure not current as modern cities. Lot to Lot Drainage is the standard of the day in my neighborhood. Water roars though the streets, across property lines, and empties into drainage confluences. Storm and sewer drains are either absent or improperly placed.

When accessory structures are relocated against city ordinances and without proper permits the outcome can be devastating to other homeowners. My property is living proof of these conditions.

As city improvements and infrastructure upgrades began, my neighborhood was not included in the projects. I was told it was too expensive to tie in to these upgrades and would require securing extra funds through bonds. Over the past 3 to 5 years I have been battling flooding from street runoff and adjacent neighbor properties. None of those damages were covered by homeowners insurance or FEMA. I have had conversations with city engineers and neighbors about my concerns.

I have spent more than \$75,000 restoring my property from damage and that does not include my swimming pool. For a single mother those costs were financially devastating. I have worked very hard to provide a nice home for my family. This was a serious economic investment. Restoration required engineered retaining walls, 3 patios, decking, fences, a French drainage system and catch basins to make my property usable and accessible. Water shed and poor drainage eroded and damaged my property. Some of those repairs bettered 804 S. Alamo Rd and prevented more damage to my own property. All repairs were permitted and performed to code standards. All contractor deficiencies were corrected.

Barbara Merriman sold her home at 804 S. Alamo Rd in 2019 to Brent and Kristy Bryant for cash and avoided disclosing the issues and paying for those repairs. The Bryant's did not pay the contractor for those repairs and I was subsequently charged.

Last February I began to notice tree clearing and open burning during ban periods at 804 S. Alamo Rd. On Feb 26th I called the fire department and sprayed my fence and surrounding ground when the flames rose above my 8 foot fence. The burning continued.

The evening of March 5th I noticed more burning and heard hydraulic lift and air brake sounds. I was unable to determine the source until the following morning when a very large structure was dropped.

I have included a flash drive of photos and video to assist with my explanation. Please refer to the photos titled 804 S. Alamo Accessory Building View. In the photos you will see the structure is visible from each angle of my property (i.e. pool area, sun patio, garage, drive way, mailbox, and street.) You will also notice the structure was not preexisting in my photo from 2/11/21.

This 12 ft. x24 ft. weathered barn like structure with a shiny metal roof rises 3 to 4 feet above my 8 foot fence. In full sun, sunshades are required to avoid blinding glare. In the photo there appears to be a sandy base flanked by railroad ties not fastened together. The structure does not appear to be anchored to any foundation and yet sits more than 8 feet above homes below. Please refer to the photos titled Elevation Viewpoint and Viewpoint Prior and Post Structure.

With the sticky clay soil and high ground water, the building is very unstable. Please refer to the videos titled Bryant runoff North to South and Driveway. You can see the watershed from the Bryant's property in the corner where the building sits as well as water rushing onto my driveway. Please also view the other mp4 and quick time videos. Water sheds in the area

- 1) East to West across S. Alamo Rd into my lawn as seen in the video of the stairs
- 2) North to South in the drainage confluence in the alley below, parallel to S. Alamo Rd and Forest Trace as seen jumping the curb in the alley video
- 3) East to West down the drainage flow adjacent to my property at 806 S. Alamo Rd as seen in the video of the drainage confluence
- 4) North to South from 804 S. Alamo Rd onto my driveway and into my garage
- 5) Corner of 804 S. Alamo Rd. into the alley below and under my fence

Events such as these are ongoing and contributed to my property damages, requiring repairs. Poor drainage creates perfect conditions for mosquitos and termites. I noticed today a termite exterminator was onsite at 804 S. Alamo Rd.

Please refer to photos titled 806 S. Alamo Renovations and Drains. The drain boxes, I purchased and paid for installation, are buried by debris, mud and are blocked by the accessory structure and additional railroad ties. My property is once again impacted in spite of repairs. I noticed the effects after the structure arrived. Please refer to the photo titled mudflow.

Mrs. Bryant said on April 27th "She liked our neighborhood because there were no rules." She stated," the structure arrived as a gift from her mother in law." She indicated she didn't have fore knowledge on an item that was big enough to require a permit for shipping along highways and roads and a shipping address before departure. The building has a base of sand and railroad ties underneath that required time to assemble prior to arrival. My property is frequented and dusted by blowing sand since the install. Additionally, Mrs. Bryant said," A solid foundation would be bad for her cactus due to poor drainage." Humidity in a greenhouse is bad for desert dwelling cactus too and so are floods. Mrs. Bryant

referred to her accessory building as a “she shed”. She said, ‘Isn’t it cute. It’s for her cactus. Again what is the purpose for this 2nd accessory structure in addition to her detached garage?

Trees were cleared and burned several weeks prior to the arrival of the structure. Mrs. Bryant stated, “If she had known size restrictions she would have chosen something else.” She implicated herself for not checking into the rules or obtaining a permit prior to ordering and arrival. The structure is twice what is allowed and bigger than my swimming pool. The size is characteristic of a commercial application and institutional learning. Permits are required for both situations in a residential neighborhood.

Previously Ms. Bryant parked a school bus on the city streets, driveway, and on her lawn. She claimed it was her art studio where she taught classes. Additionally she has frequent visitor traffic and large gatherings. Multiple guests have camped in tents on her property. Mrs. Bryant’s intent for use needs to be carefully examined based on her history.

My three areas of major concern are as follow

- 1) The Bryant’s accessory structure is unsightly, dangerous, visible from each angle of my property and does not match the surroundings aesthetically
- 2) The accessory structure was not existing but was transported in and now requires zone changes and exceptions to the rules. A permit was not obtained prior and the building is not within sizing guidelines. The building also is not properly supported without a secure foundation. If this structure is allowed to remain it sets a new precedent that opens opportunity for future violations and will decrease property value. Today’s cactus house is tomorrow’s chicken coup, dog kennel, horse stable, sheep pen, or multiple resident low rent housing, or commercial warehouse.
- 3) The accessory structure blocks critical drainage to the confluence and redirects water to my property causing potential property damage. This has greater environmental impact on watershed.

If this new precedent is allowed to stand you face creating an arbitrary and capricious situation where one neighbor is favored over the other. When you justify the rules for one and break them for another you are in danger of violating the public trust and set a double standard. As city commissioners, zoning and planning committee, I encourage you to hold the line. Your fellow citizens are counting on you to do what is right when others try to bend the rules for their own interest. My story could be your daughter’s, sister’s, mother’s, wife’s, or best friend’s future. Your duty is to protect the public. Do what is right. Thank you for your time and attention to this matter.

Sincerely,

Sharon French

806 S. Alamo Rd

Rockwall TX 75087



City of Rockwall
The New Horizon

3/10/2021

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

NEIGHBORHOOD IMPROVEMENT SERVICES DEPARTMENT

RE: Notice of Code Violation
Case Number: CE2021-996
Legal Description: HIGHRIDGE EST, BLOCK A, LOT 5
Location: 710 S ALAMO RD, ROCKWALL, 75087

During a recent inspection of your property located at 710 S ALAMO RD, ROCKWALL, 75087, the following violation of the City of Rockwall Code of Ordinances has been identified:

Article XII, Sec 3, 3.1 Building Permits Required:

No building or other structure shall be erected, moved, added to, or structurally altered without a permit issued by the Building Official. A building permit shall not be issued except in conformity with the provisions of this Ordinance, unless otherwise authorized by the Board of Adjustment in the form of a variance as provided by this Ordinance.

PLEASE CONTACT BUILDING INSPECTIONS DEPARTMENT TO OBTAIN PERMIT FOR GREENHOUSE IN REAR YARD. 972-771-7709. THANK YOU.

- accessory
building

rockwall.com

Survey
!

The compliance date for the above noted violation is **Ten (10) Days** from the date of this letter. Failure to comply may result in the issuance of a citation or a case being filed in Municipal Court.

If I can be of any assistance, please contact me at 972-772-6437

Sincerely,

Jennifer Wolfe
Neighborhood Improvement Services
Email: jwolfe@rockwall.com



Map data ©2021, Map data ©2021 20 ft

Greenhouse
is
here

Photos



Photos



12x24



Lee, Henry

From: Planning
Sent: Friday, April 23, 2021 8:04 AM
To: Lee, Henry
Subject: FW: Zoning notice at 710 S. Alamo Rd

From: Sharon Edwards [mailto:prescription4life@hotmail.com]
Sent: Thursday, April 22, 2021 3:15 PM
To: Planning
Subject: Zoning notice at 710 S. Alamo Rd

Dear zoning department,
Please explain the zoning notice.

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Thanks
Sharon French
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Sent from my Verizon LG Smartphone

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CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.496-ACRE TRACT OF LAND, IDENTIFIED AS LOTS 5 & 6, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kristi Bryant for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.496-acre tract of land described as Lots 5 & 6, Block A, Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 710 & 804 S. Alamo Road, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan depicted in *Exhibit 'B'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 288 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Zoning Exhibit

Address: 710 & 804 S. Alamo Street

Legal Description: Lots 5 & 6, Block A, Highridge Estates Addition



Exhibit 'B':
Site Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Ahmad Maktabi
CASE NUMBER: Z2021-012; *Specific Use Permit for a General Retail Store in a Light Industrial (LI) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. On August 6, 2001, the City Council approved a zoning change [Case No. PZ2001-063-01] from an Agricultural (AG) District to a Light Industrial (LI) District for the subject property. On November 21, 2005, the City Council approved a site plan [Case No. SP2005-023] for two (2) office/retail buildings (*i.e. one [1] being 5,500 SF and one [1] being 6,000 SF*). This approval was followed by a replat [Case No. P2005-035] establishing Lot 3, Block 1, Highway 276 Self Storage Addition, which was approved on December 5, 2005. A building permit [BLD2006-1141] for these buildings was issued in June 2006. No additional changes have been made to the subject property since the two (2) office/retail buildings were constructed.

PURPOSE

The applicant -- *Ahmad Maktabi* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *General Retail Store* within the Light Industrial (LI) District on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2740 SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 7.571-acre tract of land (*i.e. Lot 1, Block 1, Highway 276 Self Storage Addition*), which is partially zoned Light Industrial (LI) District and Planned Development District 46 (PD-46) and currently has a mini-warehouse facility constructed on it (*i.e. Highway 276 Self-Storage*). Continuing north and adjacent to the mini-warehouse facility is a City of Rockwall water tower that abuts Springer Road. Springer Road is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (*i.e. Tract 6 [77.148-acres] and Tract 5 [60.3-acres] of the J. H. B. Jones Survey, Abstract No. 125*) that are currently owned by the Rockwall Economic Development Corporation (REDC), and are zoned Light Industrial (LI) District.

South: Directly south of the subject property is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Timber Creek Estates Subdivision, which consists of 235 single-family residential lots that are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is a 57.461-acre vacant tract of land (*i.e. Tract 10-1 of the J. A. Ramsey Survey, Abstract No. 186*) that is currently owned by the Rockwall Economic Development Corporation (REDC), and is zoned Light Industrial (LI) District. Beyond this is Rochelle Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Planned Development District 46 (PD-46), which includes zoning for various commercial and industrial land uses. Beyond this is Corporate Crossing, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and a zoning exhibit requesting a Specific Use Permit (SUP) for a *General Retail Store* for one of the lease spaces for the purpose of establishing a smoke shop with cigar and tobacco products and accessories. The applicant has stated that there will be no smoking inside the building; staff should point out that the City does not prohibit smoking in this type of an establishment, and that it is the applicant's choice of whether to allow or not allow smoking within the establishment.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *General Retail Store* as "(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationary; pets; drugs; hardware; and similar consumer goods." In this case, the applicant's proposed business -- *which will sell tobacco products and accessories* -- falls under this classification. According to *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *General Retail Store* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District. The purpose of this requirement is to acknowledge that not all retail operations are appropriate within the City's industrial areas, and that the City Council should have discretionary oversight with regard to the types of retail operations and their impacts within these types of districts.

STAFF ANALYSIS

In this case, the existing buildings appear to be designed to accommodate this type of land use and the vehicular access to the subject property does not negatively impact any of the adjacent industrial properties. This is because of the adjacency/frontage on SH-276, which is designed to handle the higher volumes of traffic generated by retail land uses. With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 27, 2021, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Timer Creek Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *General Retail Store* within a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *General Retail Store* shall be limited to the area depicted in *Exhibit 'B'* of the draft ordinance
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2740 Hwy 276

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE OFFICE

PROPOSED ZONING SUP

PROPOSED USE RETAIL - CIGARS

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB2167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LYN STAR LLC

APPLICANT

CONTACT PERSON GERALD HOUSER

CONTACT PERSON AHMAD MAKTARI

ADDRESS P.O. Box 847

ADDRESS 319 - Chamley Rd
GARLAND TX 75044

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP 75044

PHONE 214-789-1890

PHONE 469-222-6782

E-MAIL ghouser@cgh-engineering.com

E-MAIL AHMADMAKTARI18@GMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gerald Houser (OWNER) THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

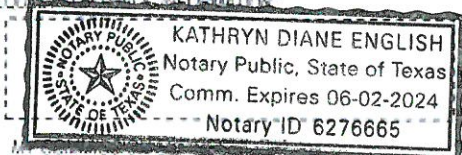
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF APRIL, 2021


OWNER'S SIGNATURE

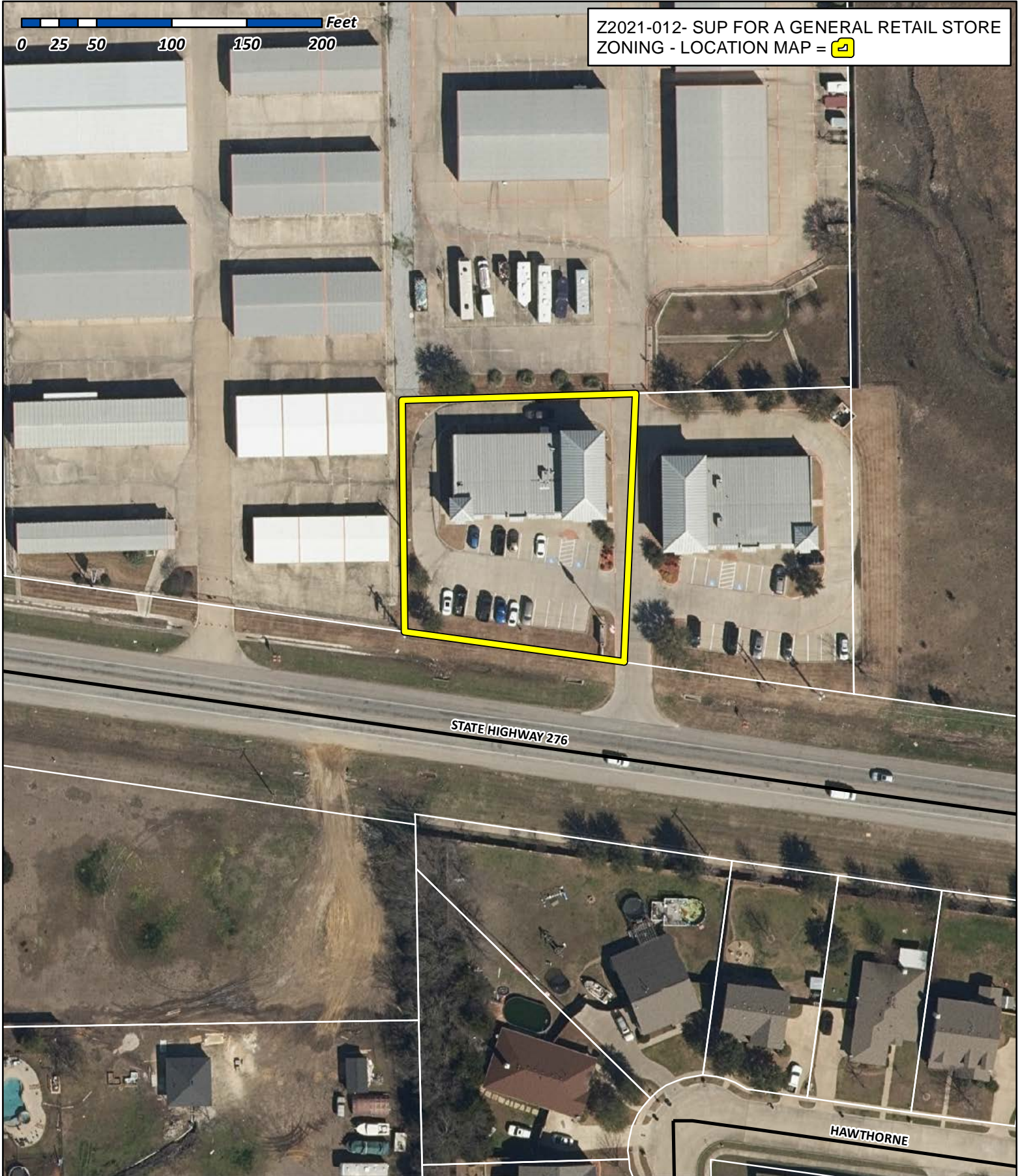
Gerald Houser

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

Z2021-012- SUP FOR A GENERAL RETAIL STORE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

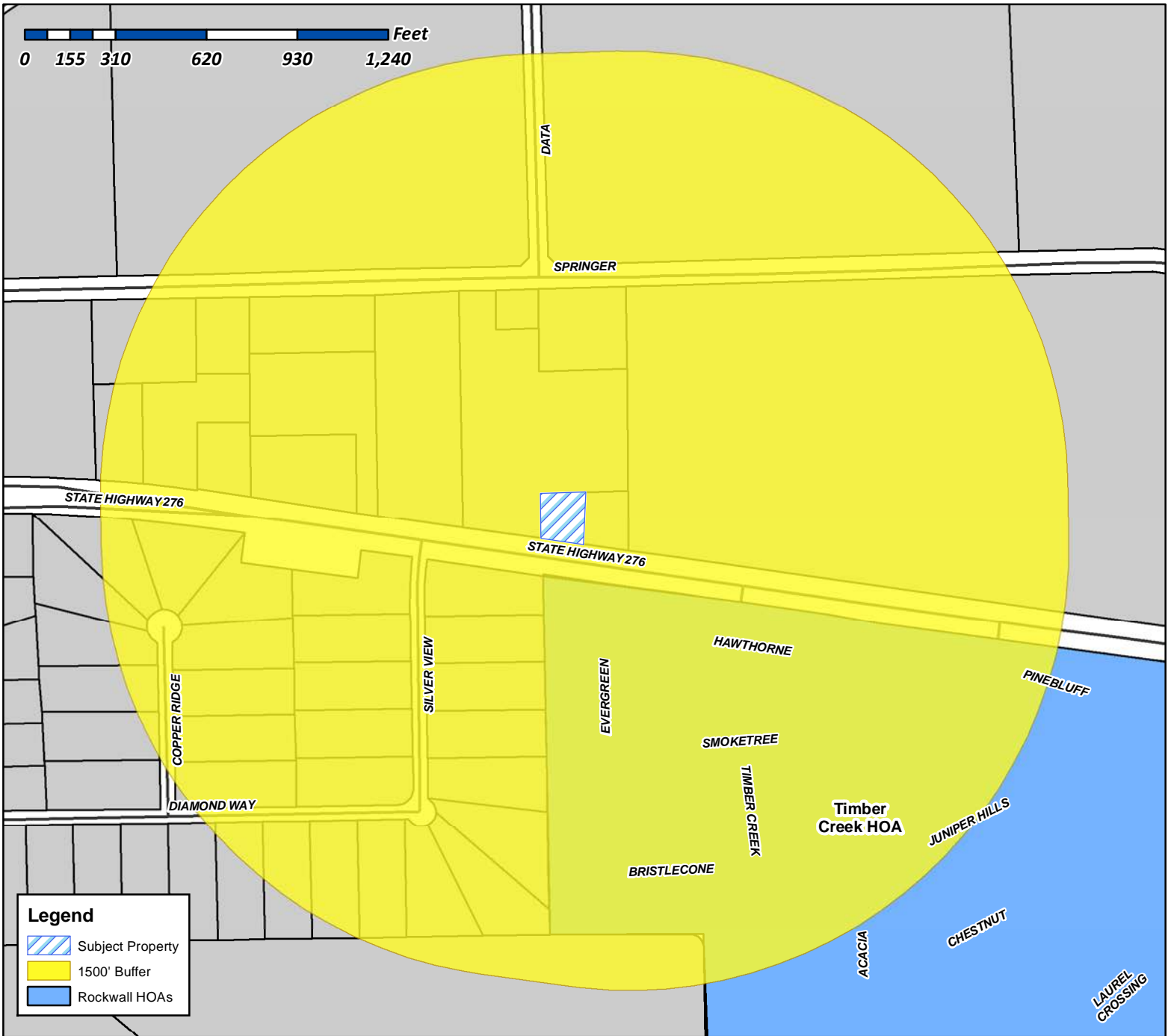







City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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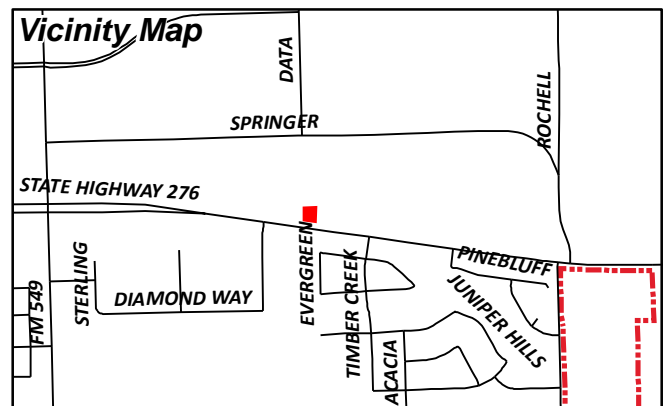


Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2021-012
Case Name: SUP for A General Retail Store
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 2740 SH-276

Date Created: 4/23/2021
For Questions on this Case Call (972) 771-7745



Gonzales, David

From: Gamez, Angelica
Sent: Friday, April 23, 2021 3:35 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Map [Z2021-012]
Attachments: Public Notice (04.27.2021).pdf; HOA Map Z2021-012.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *April 23, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, May 11, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, May 17, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-012 SUP for a General Retail Store

Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a *Specific Use Permit (SUP)* for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



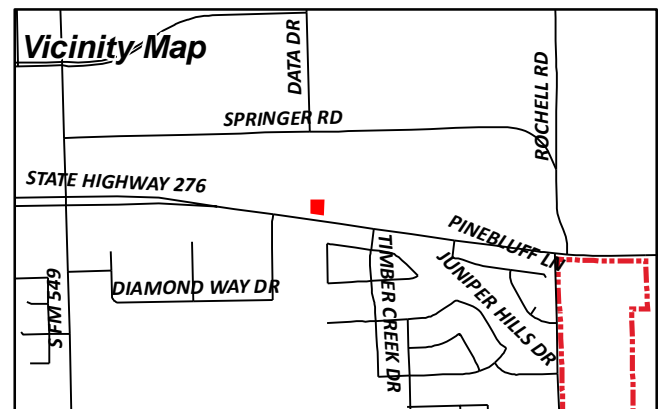
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-012
Case Name: SUP for a General Retail Store
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 2740 SH-276



Date Created: 4/23/2021
For Questions on this Case Call (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-012: Specific Use Permit for a General Retail Store

Hold a public hearing to discuss and consider a request by Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a General Retail Store in a Light Industrial (LI) District on a 1.243-acre parcel of land identified as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 11, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 17, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 17, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-012: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

 = RESPONSE RECEIVED

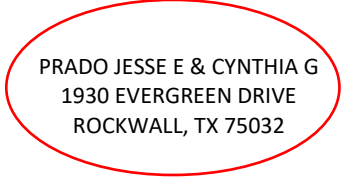
HUDACK STEVE V AND AILEEN J
1090 VINTAGE COURT
VACAVILLE, CA 95688

ABLES NORRIS BRADLEY
1855 SILVER VIEW LN
ROCKWALL, TX 75032

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

BRYANT DAWN
1915 SILVER VIEW LN
ROCKWALL, TX 75032

BARENOS CYNTHIA
1924 EVERGREEN DR
ROCKWALL, TX 75032

 PRADO JESSE E & CYNTHIA G
1930 EVERGREEN DRIVE
ROCKWALL, TX 75032

LOZANO OSCAR & DIANA
1935 EVERGREEN DR
ROCKWALL, TX 75032

QUINTON JAMES D
1935 SILVER VIEW LN
ROCKWALL, TX 75032

MOLINA RICHARD
1936 EVERGREENDR
ROCKWALL, TX 75032

SCHMIESING ALBERT W & BERTHA N
1942 EVERGREEN DRIVE
ROCKWALL, TX 75032

WELCH KEITH F & DEBORAH A
1943 EVERGREEN DR
ROCKWALL, TX 75032

MCBREEN GREGORY A & BELINDA
1949 EVERGREEN DR
ROCKWALL, TX 75032

SMITH MICHAEL W & STACY R
2021 KINGS PASS
HEATH, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
2445 DORRINGTON DR
DALLAS, TX 75228

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TX 75032

LATTIMORE MATERIALS COMPANY LP
2640 HWY276
ROCKWALL, TX 75032

COLIN-G PROPERTIES INC
2690 HWY276
ROCKWALL, TX 75032

LYNSTAR LLC
2754 HWY276
ROCKWALL, TX 75032

VILLALPANDO URIEL AND DIANNE
3414 BERMUDA DRIVE
ROWLETT, TX 75088

SKIPPER JOSEPH AND
STEPHANIE BREANNE SKIPPER
3484 HAWTHORNE TRAIL
ROCKWALL, TX 75032

HUDACK STEVE V AND AILEEN J
3490 HAWTHORNETR
ROCKWALL, TX 75032

URBINA MARIPAZ
3496 HAWTHORNE TRL
ROCKWALL, TX 75032

VILLALPANDO URIEL AND DIANNE
3602 HAWTHORNETR
ROCKWALL, TX 75032

ZHANG WEIGANG & SONGYAN WU
3605 HAWTHORNETR
ROCKWALL, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
3608 HAWTHORNETR
ROCKWALL, TX 75032

SEYBERT JACOB
3611 HAWTHORNE TRAIL
ROCKWALL, TX 75032

WHITE BRENT C &
KIMBERLY ANN WORTELBOER WHITE
3614 HAWTHORNE TRL
ROCKWALL, TX 75032

BUCHANAN DANIEL L
3619 HAWTHORNE TR
ROCKWALL, TX 75032

LOPEZ YOLANDA MAYORGA & RAUL
3620 HAWTHORNE TRL
ROCKWALL, TX 75032

SMITH MICHAEL W & STACY R
3640 HAWTHORNETR
ROCKWALL, TX 75032

MOLINA RICHARD
3694 HAWTHORNE TRAIL
ROCKWALL, TX 75032

ZHANG WEIGANG & SONGYAN WU
854 LILY AVE
CUPERTINO, CA 95014

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

LYNSTAR LLC
PO BOX 847
ROCKWALL, TX 75087

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087

PLEASE RETURN THE BELOW FORM

Case No. Z2021-012: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am all for new business in Rockwall but not by our neighborhood/residential area. I have seen too many wrecks on 276 & Timbercreek Drive. Speed limit is 55 degrees people usually drive 60-65 mph, Hard getting out of neighborhood.

Name: Jesse Prado

Address: 1930 EVERGREEN DRIVE, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



S 00°23'28" E 185.86'

VACANT
1000 SF

VACANT
1090 SF

ALLSTATE
INSURANCE
STE 200

HWY 276
STOR-N-MORE
STE 100 100

STE 400

2740 HWY 276

TIMBERC
ANIMAL HO
STE 10

048.50'

S 81°25'00" E

303.71'

LYNSTAR CENTER

2740 & 2754 HWY 276

ROCKWALL, TX 75032

HIGHWAY 276



FOR
LEASE
CALL [phone number]

Cigars store

To whom it may concern i m willing to lease the space 20740 state why 276 unite 400 Rockwall as smoke shop with cigar/and tobacco product and tobacco accessories, and there will be no smoking inside the building.

Ahmad Maktabi

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *GENERAL RETAIL STORE* IN A LIGHT INDUSTRIAL (LI) DISTRICT ON A 1.243-ACRE PARCEL OF LAND, ZONED LIGHT INDUSTRIAL (LI) DISTRICT, IDENTIFIED AS LOT 3, BLOCK 1, HIGHWAY 276 SELF STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ahmad Maktabi on behalf of Gerald Houser of Lynstar, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District on a 1.243-acre parcel of land being described as Lot 3, Block 1, Highway 276 Self Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2740 SH-276, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *General Retail Store* in a Light Industrial (LI) District in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 05.01, *General Industrial District Standards*; Subsection 05.02, *Light Industrial (LI) District*; and Subsection 06.02, *General Overlay Districts Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as

heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *General Retail Store* in a Light Industrial (LI) District on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The *General Retail Store* shall be limited to the area depicted in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JUNE, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'
Location Map

Address: 2740 SH-276

Legal Description: Lot 3, Block 1, Highway 276 Self Storage Addition

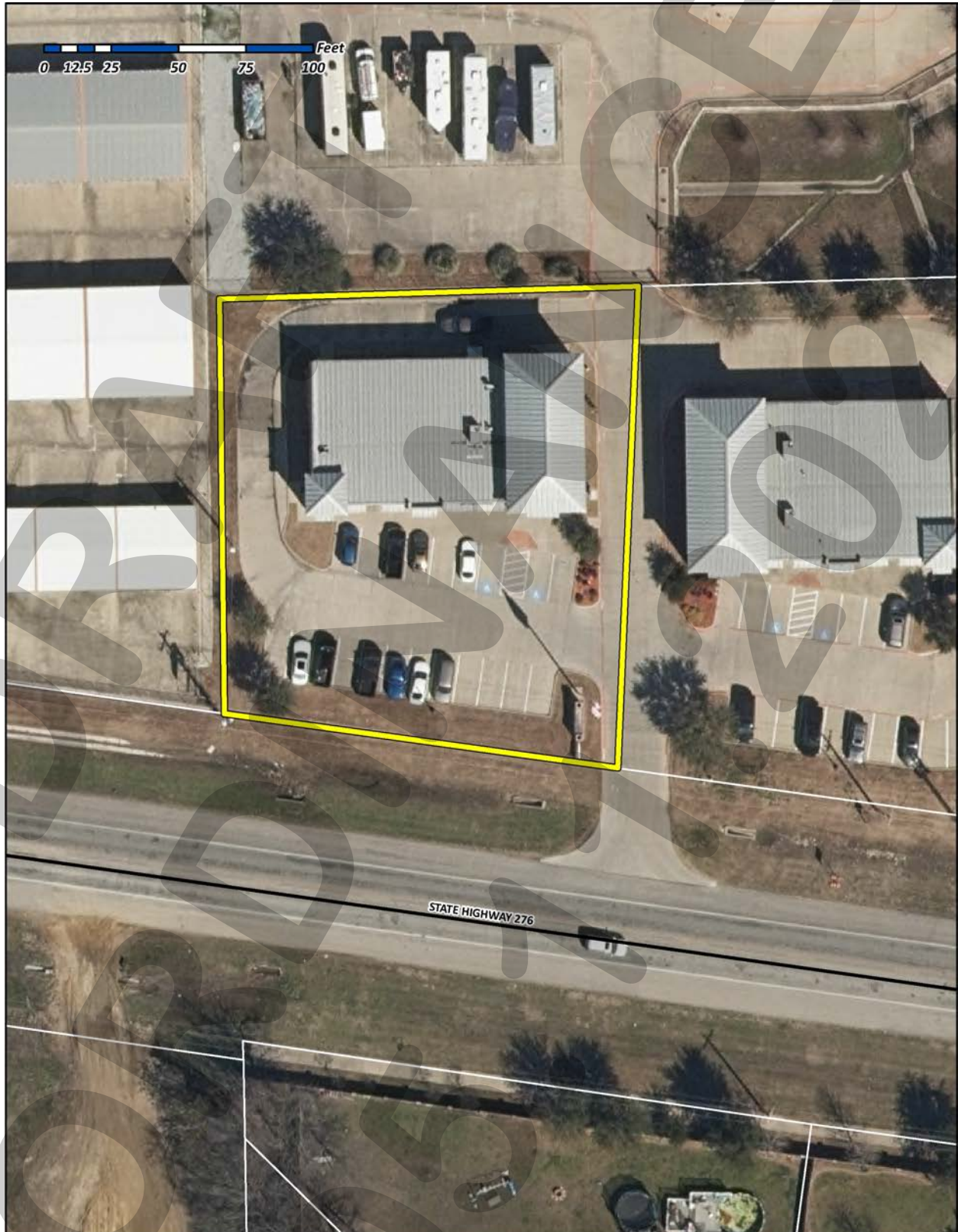
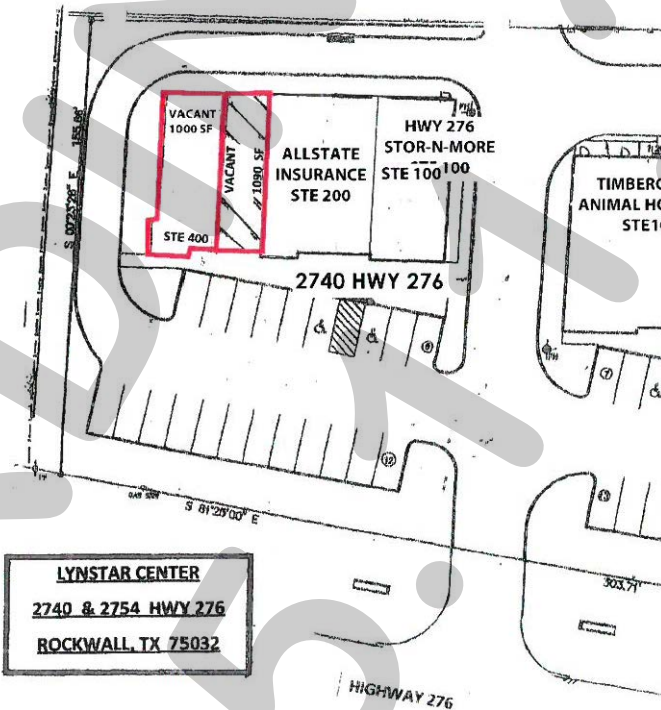


Exhibit 'B':
Zoning Exhibit
2740 Hwy 276, Suite 400





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: May 11, 2021
SUBJECT: Z2021-013; *Amendment to Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*

On April 5, 2021, the City Council directed staff to make a minor clarification to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*. Attached to this memorandum is a copy of the memorandum provided to the City Council outlining the purpose of this amendment. The changes being proposed are as follows:

[ADDITIONS: HIGHLIGHTED]

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.

Also attached to this memorandum is a copy of the draft ordinance for the proposed change. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council.

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on May 11, 2021.



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*
Frank Garza, *City Attorney*
Jeffrey Widmer, *Chief Building Official*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 5, 2021

SUBJECT: Regulatory Actions for Improvements and Storage on Unleased Land within the Takeline

Mayor Pruitt has asked staff to include this item on the April 5, 2021 City Council agenda for discussion and direction. Specifically, staff has been asked to address unlawful improvements and storage within the takeline on property that is not currently being leased. As the City Council is aware, changes to the takeline ordinance contained in the Unified Development Code (UDC) were recently adopted by the City Council [*Ordinance No. 21-01*] on January 4, 2021. As part of these changes the takeline lease fees were decreased to \$200.00 for new leases with an annual renewal fee of \$100.00. The City Council also directed staff to offer leases at no cost to all property owners who do not currently have a valid takeline lease for a period of 30-days. The attached letter and updated lease would offer free leases to owners that do not have current leases under the new terms adopted by the takeline ordinance (*approximately 98 properties*). If directed to proceed, the attached letter and lease will be sent out to these property owners by certified mail on April 20, 2021.

However, while the City has reduced the fees and will waive the costs of a new or renewal lease for a 30-day period, there may be some property owners who may refuse to lease the takeline. Therefore, to address the unlawful use of the takeline -- *at the City Council's discretion* -- the following example language could be adopted and codified in the Municipal Code of Ordinances under a new article in Chapter 22, *Miscellaneous Offenses*:

Section 22-139 – 22-150. RESERVED

Article III. *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*

Section 22-51. *Unlawful Use of Unleased Land within the Lake Ray Hubbard Takeline*

- (a) It shall be unlawful for any person to construct, store, or place any permanent or temporary improvement (*e.g. raised garden beds, gardens, landscaping, patios, decks, lighting [decorative or otherwise], boat whips, and etc.*) or object (*e.g. patio furniture, chairs, decorative landscape pots, trampolines, hammocks, and etc.*) on any portion of the unleased land within the Lake Ray Hubbard Takeline that remains in place for a period of 24 consecutive hours.
- (b) It shall be unlawful for any person to alter the unleased land within the Lake Ray Hubbard Takeline in anyway so as to change the grade of the property, remove vegetation, alter or remove trees, change the natural coast line of the lake, alter drainage patterns, or any other change that effects the natural environment of the property.
- (c) It is an exception to an offense under Subsection (a) and (b) for a person that holds a valid takeline lease; however, these properties shall be subject to the regulations contained within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

Section 22-52. *Enforcement within the Lake Ray Hubbard Takeline*

- (a) The City shall have the authority to administer and enforce the provisions of this article as may be permitted by the City's Interlocal Agreement with the City of Dallas and as allowed by this Municipal Code of Ordinances. Any person who violates a provision of this article, or fails to comply therewith, or with any of the requirements thereof, is subject to suit for injunctive relief as well as in Municipal Court. Any violation of this article is declared to be a nuisance.
- (b) In the event of a violation of this article, the City shall first issue a notice of violation and allow the property owner five (5) business days to remove the violation and return the property to its natural state. Thereafter, any person violating any provision of this article shall -- *upon conviction* -- be fined a sum not exceeding \$500.00. Each day that a provision of this article is violated shall constitute a separate offence. An offense under this article is a *Class C Misdemeanor*, punishable by a fine not to exceed \$500.00.
- (c) Nothing in this article shall be construed as a waiver of the City's right to bring a civil action to enforce the provisions of this article and to seek remedies as allowed by law, including but not limited to the following: [1] injunctive relief to prevent specific conduct that violates this article or to require specific conduct that is necessary for compliance with this article; and [2] other available relief.

Staff has included an example ordinance with this language for the City Council's review. In addition, to the changes to the Municipal Code of Ordinances, the following changes to the Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) were also identified:

[ADDITIONS: HIGHLIGHTED]

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (*e.g. portable residential barbecue grills and ranges, trampolines, etc.*) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.

Staff has included an example ordinance with this language for the City Council's review. If the City Council chooses to direct staff to proceed with these changes, the following is the timeline for all necessary actions:

- April 16, 2021: Staff initiates the text amendments to the Unified Development Code (UDC).
- April 19, 2021: The first reading of the ordinance changing the Municipal Code of Ordinances.
- April 20, 2021: The letter and lease is sent -- *by certified mail* -- to all property owners who have property adjacent to the takeline and which are eligible to lease property.
- April 25, 2021: The 30-day window for property owners who do not currently have a valid lease agreement to enter into a lease agreement at no charge begins.
- May 3, 2021: The second reading of the ordinance changing the Municipal Code of Ordinances.
- May 11, 2021: The Planning and Zoning Commission public hearing concerning ordinance changing the Unified Development Code (UDC).
- May 17, 2021: The City Council public hearing and first reading of the ordinance changing the Unified Development Code (UDC).
- May 25, 2021: The offer for lease agreements with no charge expires and staff begins enforcing the changes with regard to the Municipal Code of Ordinances.
- June 7, 2021: The second reading of the ordinance changing the Unified Development Code (UDC).

As stated above this is an example of the actions that can be taken by the City Council should they wish to regulate improvements and storage on unleased land within the takeline. With this being said, staff can proceed with any action amenable to the City Council. If the City Council has any questions staff and the City Attorney will be available at the April 5, 2021 City Council meeting.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SUBSECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF JUNE, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 17, 2021

2nd Reading: June 7, 2021

Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

(F) *General Requirements.*

- (5) *Temporary Structures on Leased Property in the Takeline Area.* Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses*, of the Municipal Code of Ordinances.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Mike Prince; *Truman Heights LLC*
CASE NUMBER: SP2021-012; *Amended Site Plan for 259 Ranch Trail*

SUMMARY

Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of an Amended Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

BACKGROUND

The subject property was annexed in 2004 [*Ordinance No. 04-34*] and zoned Commercial (C) District. In 2017, the City Council approved a replat [*Case No. P2017-050*] to subdivide the subject property (*i.e. Lots 22 & 23 of the Rainbow Acres Addition*) from the adjacent property in order for a mini-warehouse facility to be developed on Lot 23. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*Case No. SP2019-031*] for the purpose of constructing a 4,950 SF office building, and converting the existing 2,366 SF single-family home into an office building. Associated with the site plan was a variance for the horizontal articulation; however, this request failed to get a supermajority vote, failing 4-2 with Commissioners Womble and Welch dissenting and Commissioner Moeller absent. The applicant appealed the variance denial to the City Council, where the City Council denied the appeal on November 7, 2019 by a vote of 7-0. After this denial the applicant proceeded with converting the existing single-family home into an office building, but abandoned the request to add a new 4,950 SF office building to the subject property.

PURPOSE

On April 16, 2021, the applicant -- *Mike Prince of Truman Heights LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a 4,950 SF office building on the subject property adjacent to the existing (*converted*) 2,366 SF office building.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 259 Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several commercial structures. Beyond this is vacant tract of land adjacent to County Line Road. County Line Road is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. These areas are all zoned Commercial (C) District.

South: Directly south of the subject property several are commercial structures. Beyond this is vacant tract of land that is adjacent to FM-3097. FM-3097 is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a 7.489-acre parcel of land that is currently being operated as a mini-warehouse facility. This property is zoned Commercial (C) District. Following this is a 131.39-acre tract of vacant land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 [commonly referred to as the Wallace Tract]*)

zoned Agricultural (AG) District. Beyond this are two (2) single-family residential subdivisions (*i.e. the Oaks of Buffalo Way and Willowcrest Estates Subdivisions*), which are zoned Single-Family Estates 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several commercial structures that are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an office building is permitted *by-right* in a Commercial (C) District and no additional approvals are necessary with regard to the proposed land use. With the exception of the variances being requested the submitted landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=54,210 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=200-Feet-In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=227-336-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X=15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=16-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=14%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Parking Spaces</i>	<i>X=26 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=41%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=41%; In Conformance</i>

TREESCAPE PLAN

The proposed landscape plan does not propose removing any trees on the subject property. Therefore, this case does not require a Treescape Plan.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is a district "...intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district..." In addition, these areas "...may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts..." In this case, the applicant's request appears to conform to the requirements of the Unified Development Code (UDC). Specifically, the subject property is adjacent to Ranch Trail Road -- *identified as a Minor Collector on the City's Master Thoroughfare Plan* --, and the proposed land use (*i.e. office*) is not typically a high-volume water/wastewater user. With regard to the land use, an office building is permitted *by-right* in a Commercial (C) District.

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

- (1) *Building Articulation*.

(a) Secondary Building Façade: According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that “(a) secondary building façade is any building façade that does not have a primary entryway or an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property ... (a)ll commercial buildings shall meet the standards for articulation on secondary building façades as depicted in Figure 7.” The reference figure goes on to require that the maximum wall length shall not exceed three (3) times the wall height. In this case, the north and south elevations show that the wall of the proposed addition is 110-feet long and 23-feet 9-inches tall. This exceeds the wall length requirements (*i.e.* $23.67' \times 3 = 71'$). Based on this, the applicant is requesting an exception. The reference figure also requires that projections must be 25% taller than the wall height. In this case, the east elevation shows that the projection is 23-feet 8-inches and the wall height is 19-feet 8-inches. This does not meet the wall projection requirements (*i.e.* $19.67' \times 1.25 = 24.6'$). Based on this, the applicant is requesting an exception.

(2) Construction Standards

(a) Roof Design Standards: According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the applicant has a pitched roof with a pitch of 3:12. Based on this, the applicant is requesting an exception.

According to Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, “(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception. In this case, the applicant is providing additional landscaping, 100% masonry on the east elevation, a brick wainscot around the building, and a canopy over the primary entrance to the proposed building. Staff should note that these compensatory measures coupled with the off-set in the building elevations is a substantially different request from the original request that was denied in 2019. In approving exceptions, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested exception. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a supermajority vote (*i.e.* a *three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Southwest Residential District and is situated within an area that is identified as a Transitional Area. According to the district, the Transitional Area is defined as, “...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties...” In this case, this use and the proposed metal building is similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

The Comprehensive Plan aims to encourage quality commercial development throughout the city by ensuring that industrial/office uses are adequately buffered and/or screening from residential land uses. Roadways and open space serve as a natural separation between non-residential areas and residential subdivisions. Landscape buffers utilizing a combination of berms and mature landscaping should be utilized for non-residential properties that area adjacent to residential or agricultural land. In this case, the subject property is largely surrounded by commercial/industrial uses. The applicant is also providing a landscape buffer adjacent to Ranch Trail. Due to these reasons, this request seems to generally conform to the policies of the Comprehensive Plan regarding screening of non-residential properties.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval by a vote of 3-0, with Board Members Miller, Avenetti, Neill, and Meyrat absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for the construction of a 4,950 SF building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING PROPOSED USE

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON

ADDRESS 259 Ranch Trail ADDRESS

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP

PHONE 972-722-2408 PHONE

E-MAIL mike@rdmoormaninc.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

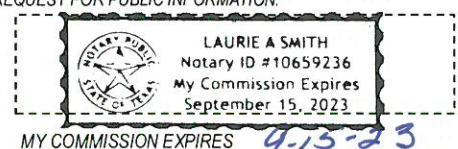
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP =

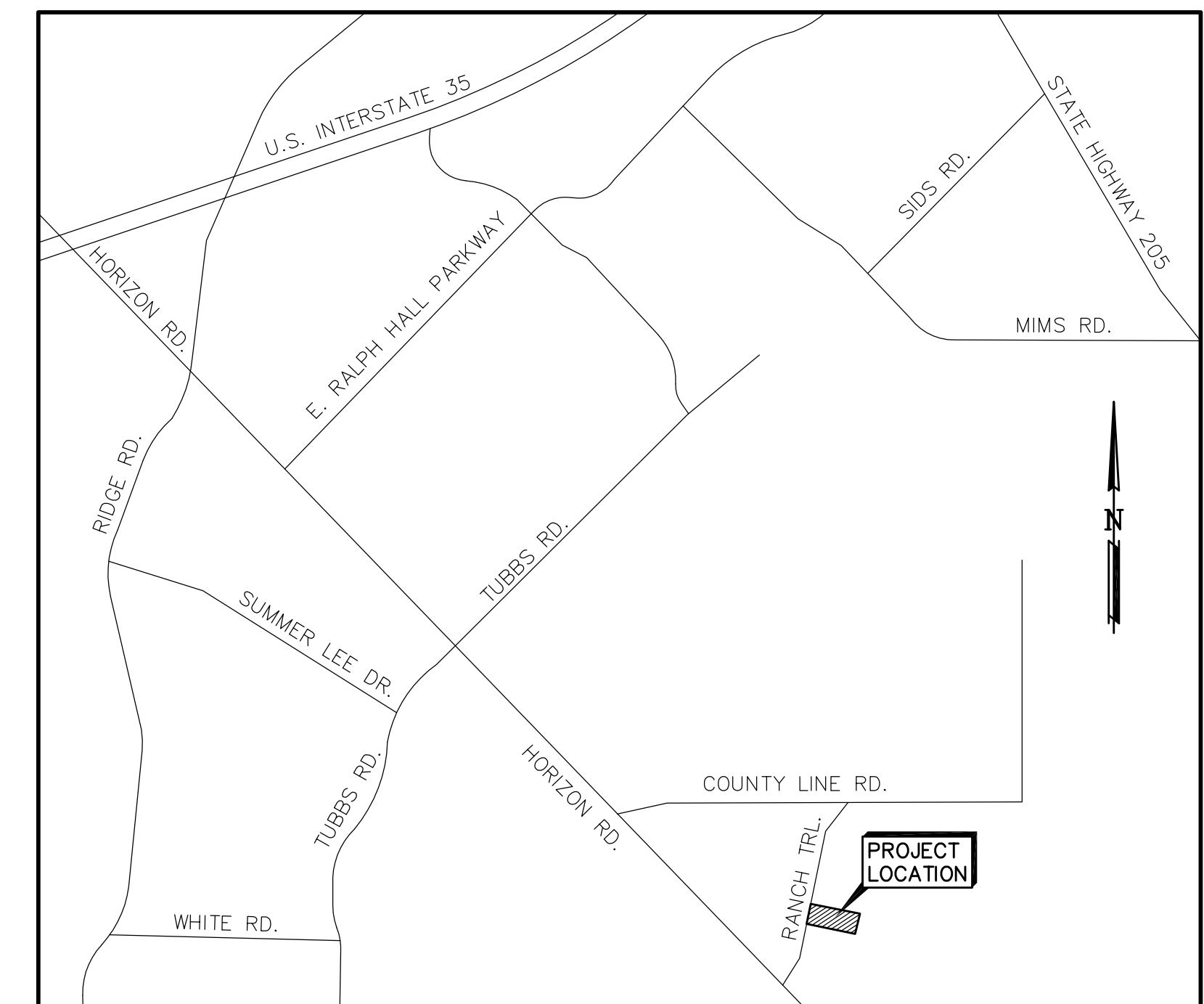
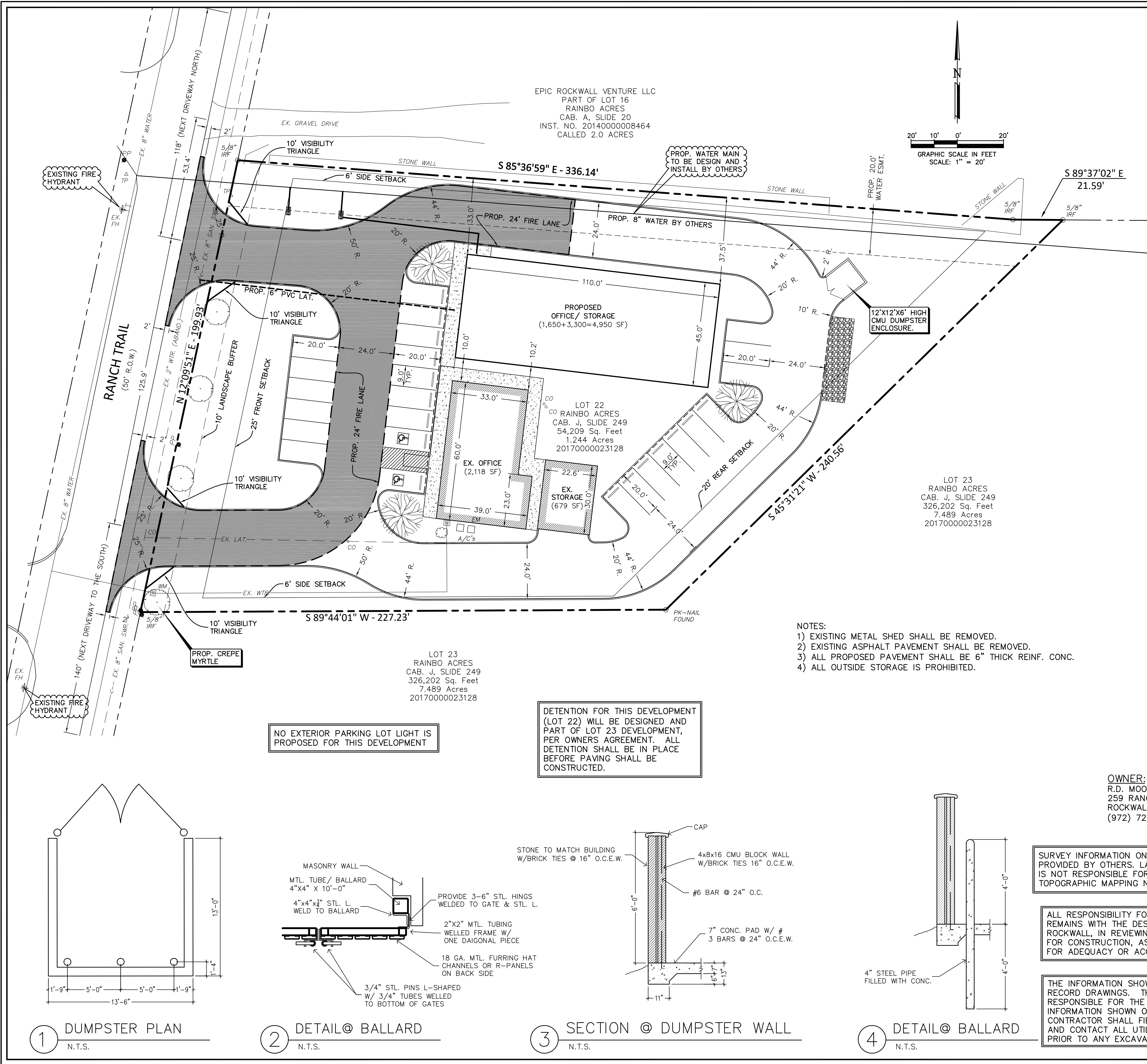


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

SITE DATA	
LOT AREA	22,740.74
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

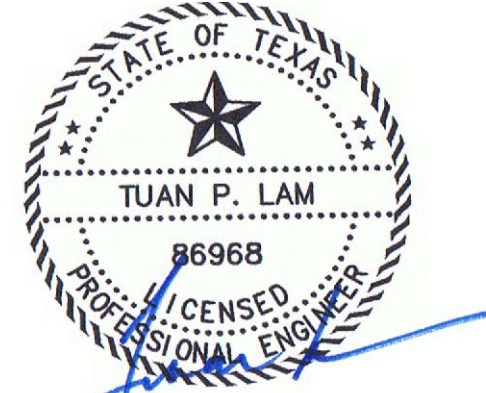
PARKING CALCULATION	
PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:
- EXISTING METAL SHED SHALL BE REMOVED.
 - EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETECTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETECTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

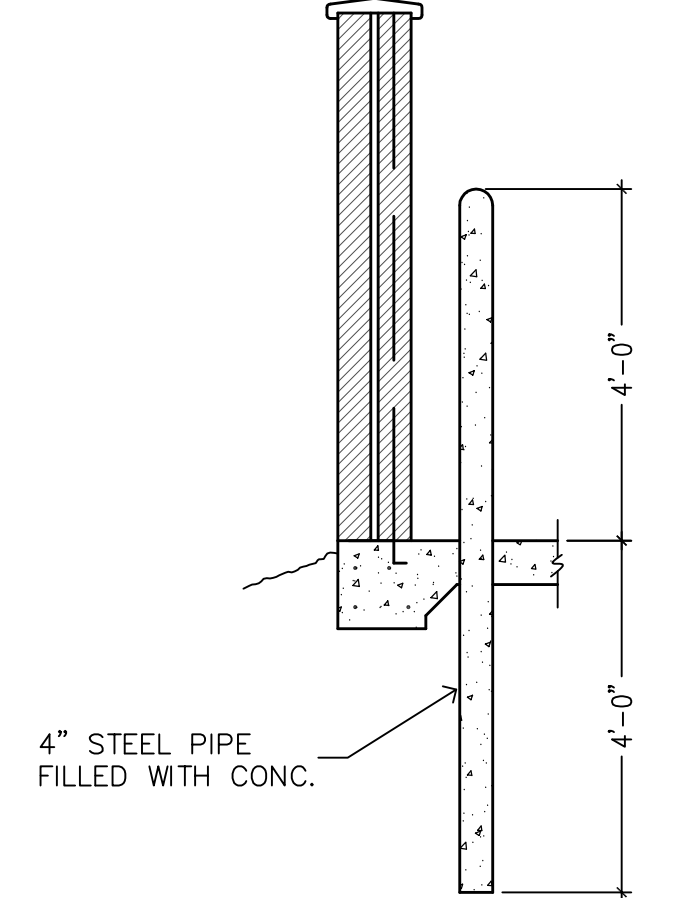
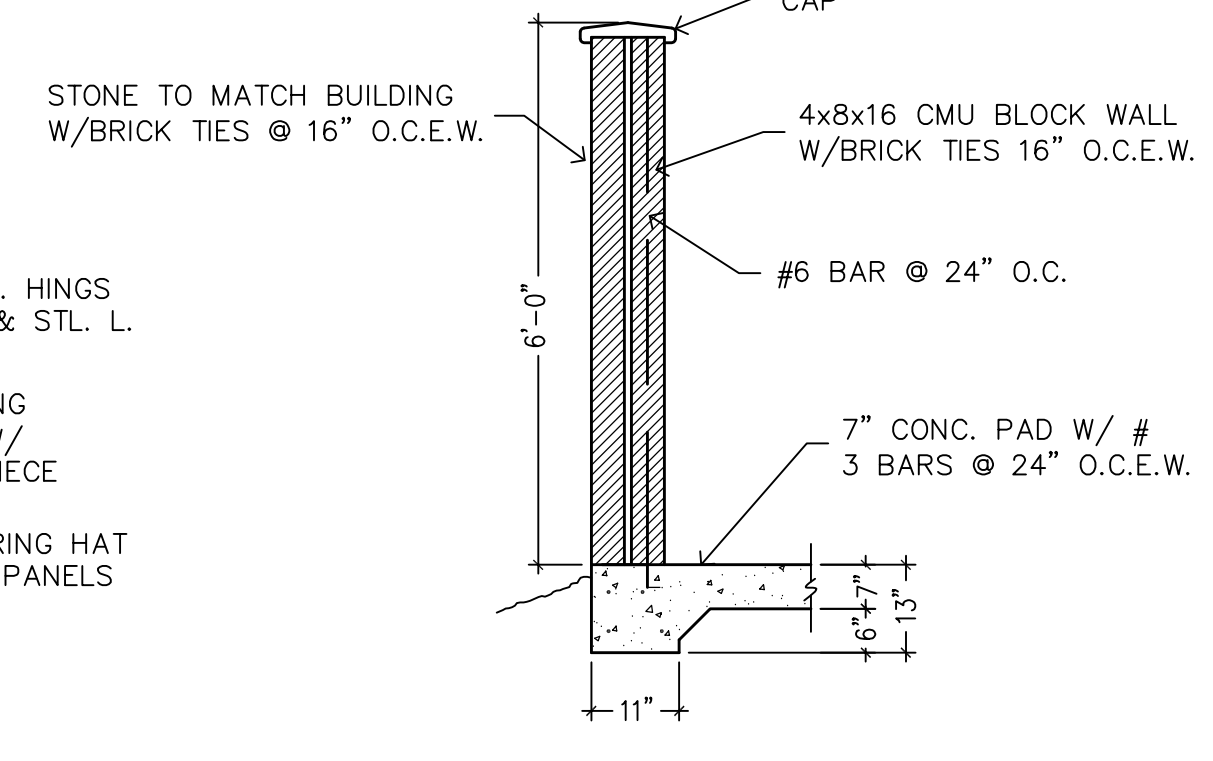
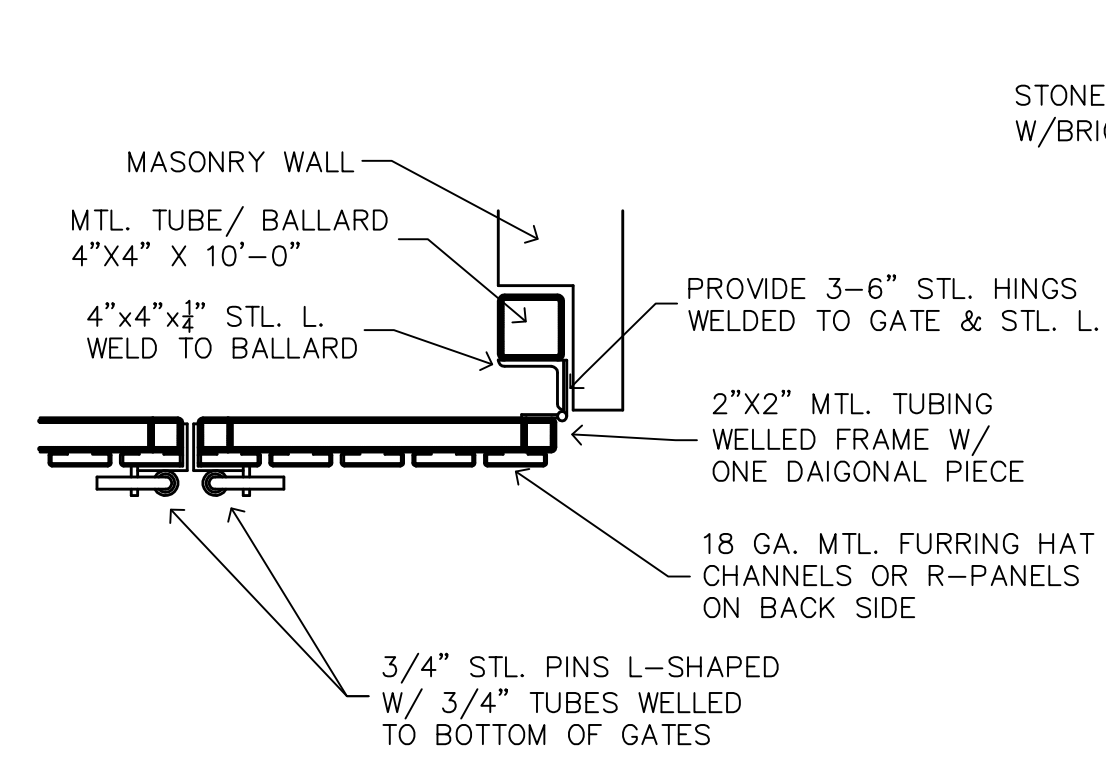
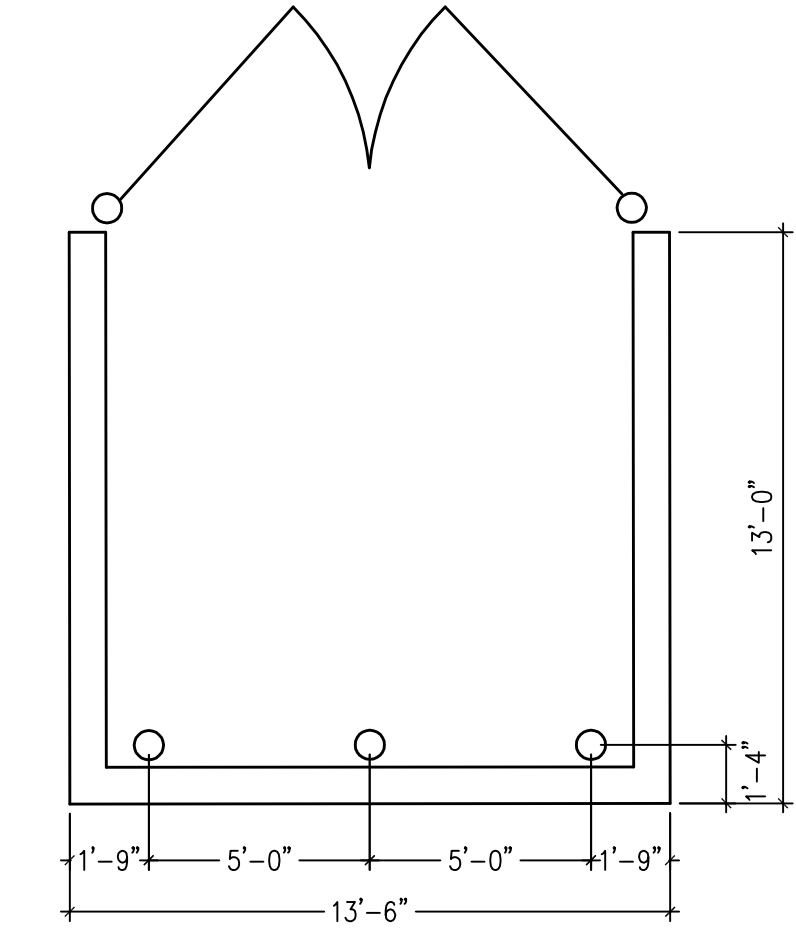
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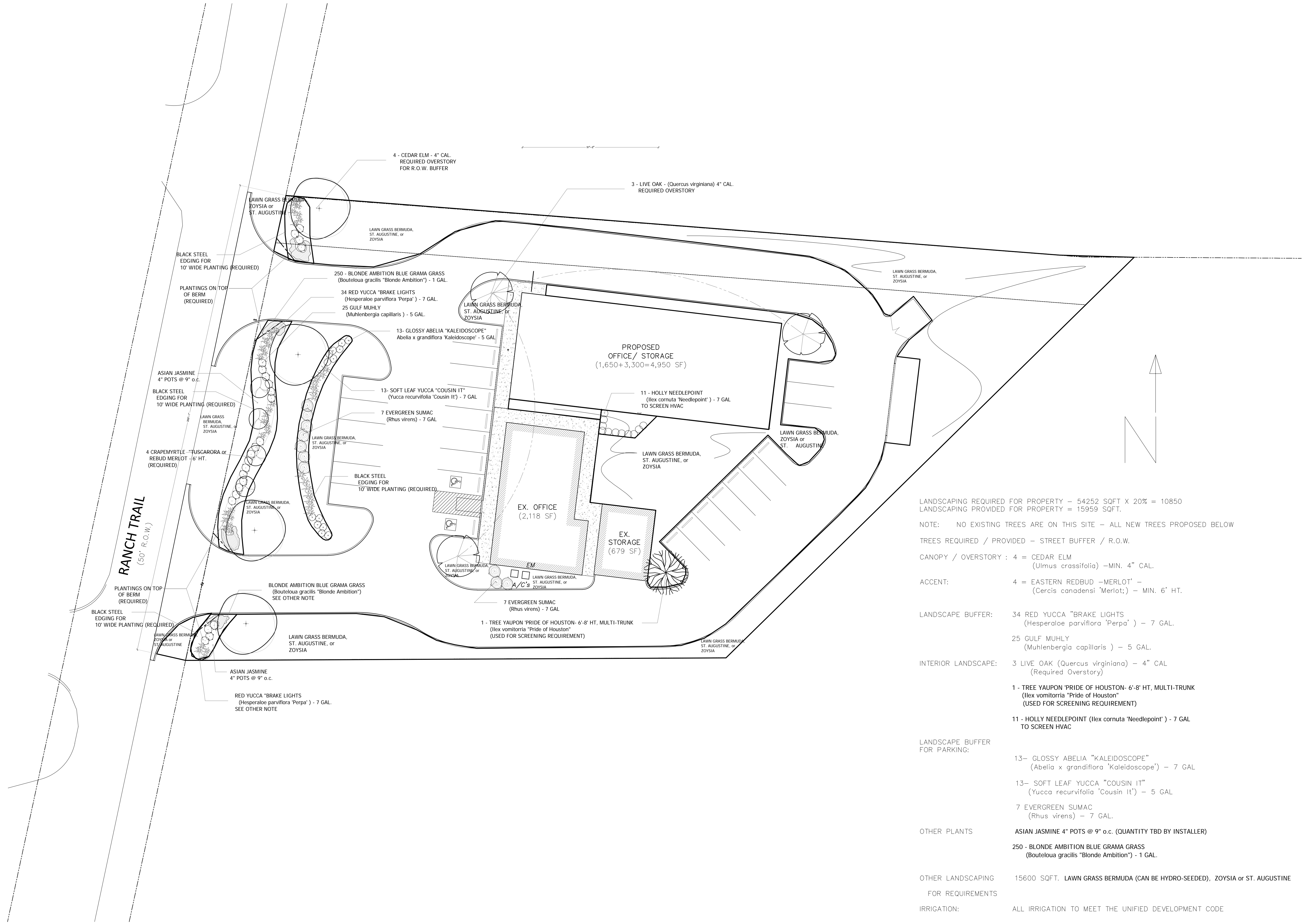
① DUMPSTER PLAN
N.T.S.

② DETAIL @ BALLARD
N.T.S.

③ SECTION @ DUMPSTER WALL
N.T.S.

④ DETAIL @ BALLARD
N.T.S.





LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

NOTE: NO EXISTING TREES ARE ON THIS SITE - ALL NEW TREES PROPOSED BELOW

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT- (Cercis canadensi 'Merlot') - MIN. 6' HT.

LANDSCAPE BUFFER: 34 RED YUCCA "BRAKE LIGHTS (Hesperaloe parviflora 'Perpa') - 7 GAL.
 25 GULF MUHLY (Muhlenbergia capillaris) - 5 GAL.

INTERIOR LANDSCAPE: 3 LIVE OAK (Quercus virginiana) - 4" CAL (Required Overstory)
 1 - TREE YAUPON "PRIDE OF HOUSTON- 6'-8' HT, MULTI-TRUNK (Ilex vomitoria 'Pride of Houston' (USED FOR SCREENING REQUIREMENT)
 11 - HOLLY NEEDLEPOINT (Ilex cornuta 'Needlepoint') - 7 GAL TO SCREEN HVAC

LANDSCAPE BUFFER FOR PARKING:
 13- GLOSSY ABELIA "KALEIDOSCOPE" (Abelia x grandiflora 'Kaleidoscope') - 7 GAL
 13- SOFT LEAF YUCCA "COUSIN IT" (Yucca recurvifolia 'Cousin It') - 5 GAL
 7 EVERGREEN SUMAC (Rhus virens) - 7 GAL.

OTHER PLANTS ASIAN JASMINE 4" POTS @ 9" o.c. (QUANTITY TBD BY INSTALLER)
 250 - BLONDE AMBITION BLUE GRAMA GRASS (Bouteloua gracilis "Blonde Ambition") - 1 GAL.

OTHER LANDSCAPING FOR REQUIREMENTS 15600 SQFT. LAWN GRASS BERMUDA (CAN BE HYDRO-SEEDED), ZOYSIA OR ST. AUGUSTINE

IRRIGATION: ALL IRRIGATION TO MEET THE UNIFIED DEVELOPMENT CODE

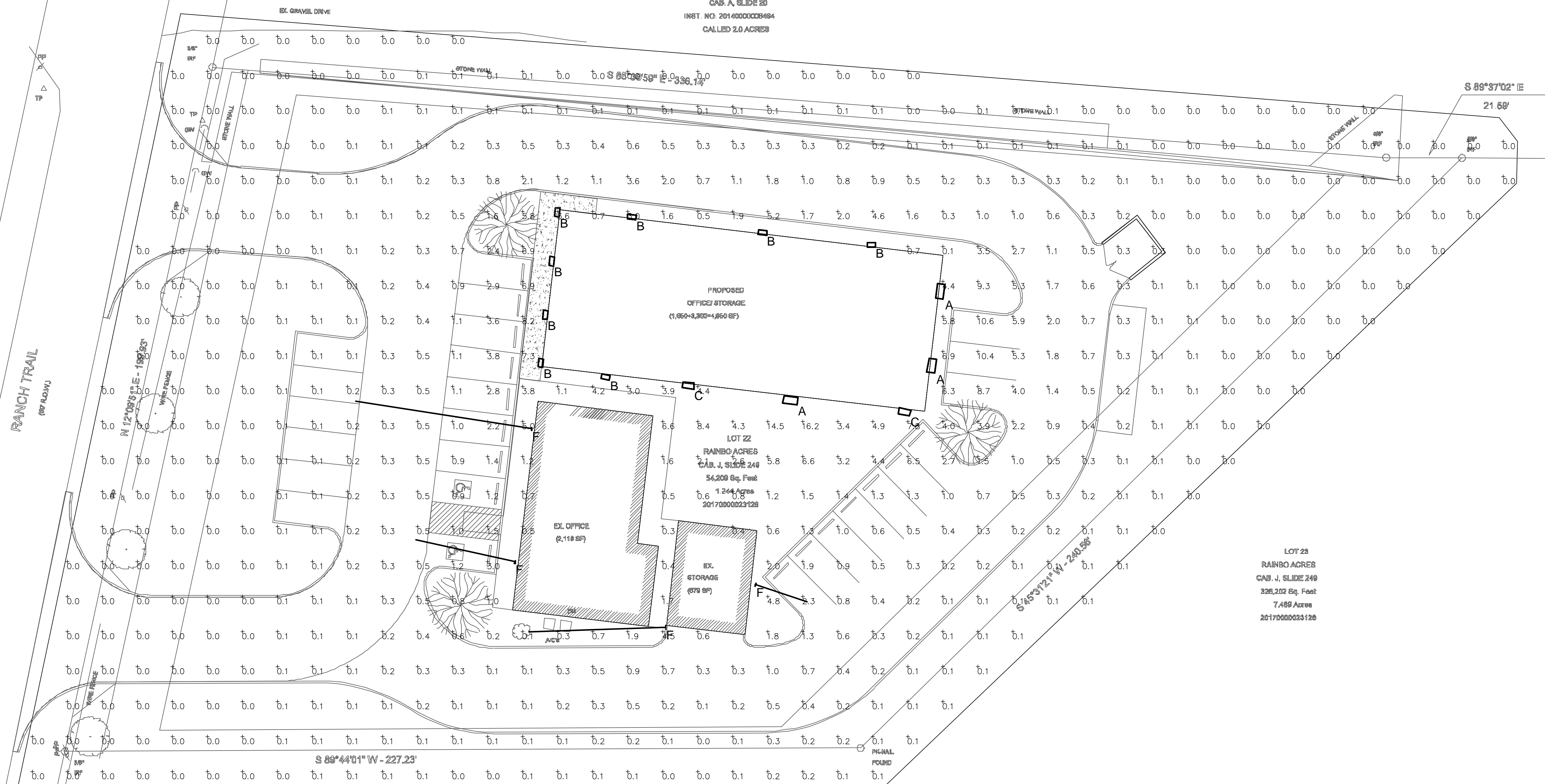


Date: 22 FEB 2021	Revisions: 27 APRIL 2021	Scale: 1/20 = 1'-0"
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PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

EPIC ROCKWALL VENTURE LLC
PART OF LOT 18
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 2016000008494
CALLED 2.0 ACRES



LOT 23
RAINBO ACRES
CAB. J, SLIDE 248
328,282 Sq. Feet
7.488 Acres
201700000231228

LOT 25
RAINBO ACRES
CAB. J, SLIDE 249
328,282 Sq. Feet
7.489 Acres
201700000231228

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	3	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	F	4	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	16.2 fc	0.0 fc	N/A	N/A

NO	REVISIONS	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
Rockwall, Texas



3/12/2021



DRAWN BY: TJ
CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
PHOTOMETRICS

1 SITE PLAN
SCALE: 1/16" = 1'-0"

CASE NUMBER: SP2021-012

SHEET **SL1**



ARC2 LED

Architectural Wall Luminaire



Catalog Number

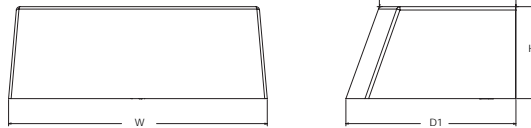
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 9.25"
Depth (D2): 7.5"
Height: 5"
Width: 14"
Weight: 11 lbs
 (without options)



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 ¹	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ¹	DDBXD Dark bronze
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) ¹	DBLXD Black
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	DWHXD White
	P5 6,500 Lumens			SPD6KV 6kV surge protection ¹	DSSXD Sandstone
			FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²	DDBTXD Textured dark bronze	
				DBLTXD Textured black	
				DNATXD Textured natural aluminum	
				DWHGXD Textured white	
				DSSTXD Textured sandstone	

Accessories

Ordered and shipped separately.

WSBBW DDBXD U

Surface - mounted back box (specify finish)

NOTES

- 347V not available with E4WH, E8WC and SPD6KV.
- FAO not available with DMG.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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ARC2 LED
 Rev. 10/14/20

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	11W	0.090	0.055	0.049	0.046	0.045
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.280	0.162	0.144	0.128	0.095
P5	51W	0.471	0.272	0.239	0.212	0.158

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Lumens
E4WH	693
E8WC	1,413

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

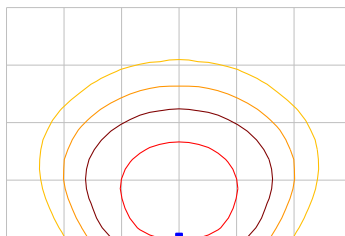
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.88

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc



ARC2 LED P3 40K

MH = 15ft
Grid = 15ft x 15ft

Emergency Egress Options

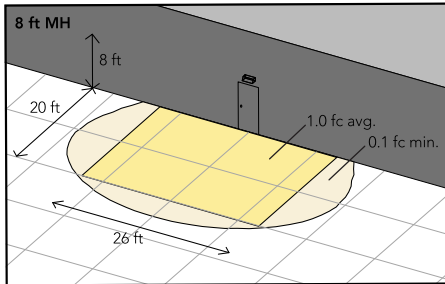
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

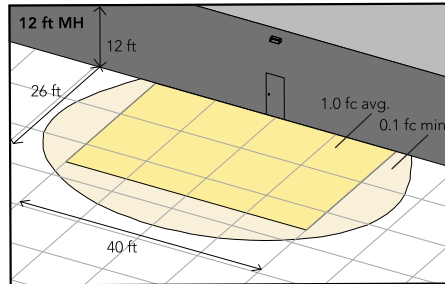
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.

Grid = 10ft x 10ft



ARC2 LED 40K MVOLT E4WH



ARC2 LED 40K MVOLT E8WC



Self-contained solution for clean aesthetic

Mounting, Options & Accessories



E4WH and E8WC – Emergency Battery Backup

D = 6.5"

H = 5"

W = 11"



BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"

For surface conduit applications.
3/4" conduit entry holes.

FEATURES & SPECIFICATIONS

INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L88/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports it during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for applications with no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

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ARC2 LED
Rev. 10/14/20



Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Vertical Articulation
- Roof Pitch

The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

A handwritten signature in blue ink, appearing to read 'Ryan Moorman', is written over a horizontal line. The signature is stylized and cursive.